

THE JOHN AND MICHELLE WEHRHEIM ESTATE

SITE PLAN

SCALE:
1/16" = 1'-0"

1

OWNER:

JOHN AND MICHELLE WEHRHEIM
RETREAT POINT ROAD
LOT 38 PENINSULA POINT SOUTH,
OCONEE, SOUTH CAROLINA

DRAFTER:

DAVID MICHAEL DESIGNS
712 CENTER STREET
COSTA MESA, CA. 92627
PH: 949.701.9539
FAX: 949.650.2192
DAVIDMICHAELDESIGNS@GMAIL.COM

ENGINEER:

T.B.D.

BUILDER:

T.B.D.

SITE INDEX:

- A1 SITE PLAN / TITLE SHEET
- A2 SURVEYORS PLAN
- A3 MAIN FLOOR PLAN
- A4 BASEMENT PLAN
- A5 ELEVATIONS
- A6 ELEVATIONS
- A1 ROOF PLAN

PROJECT DATA

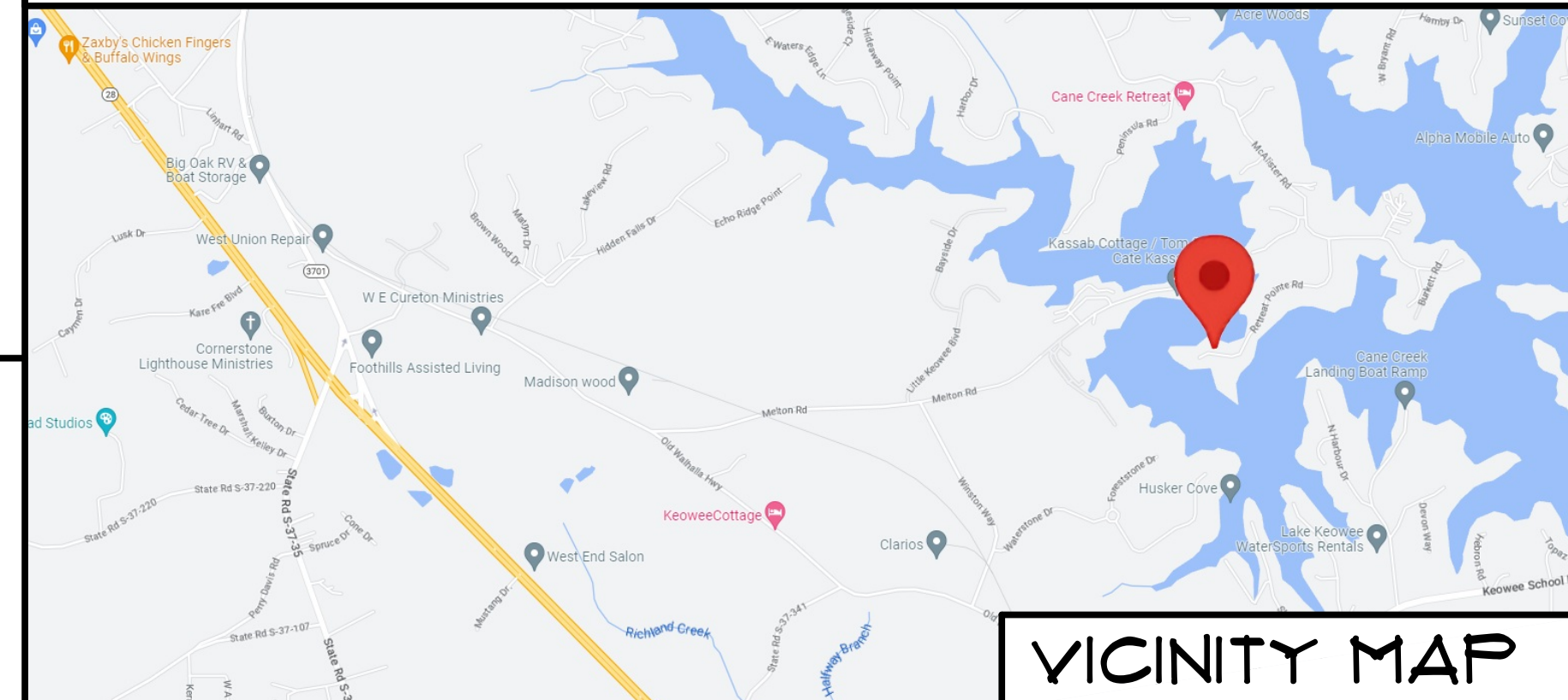
OCCUPANCY: R3-U

MAP PARCEL: 162-05-0-100

CONSTRUCTION TYPE V-B

SCOPE OF WORKS

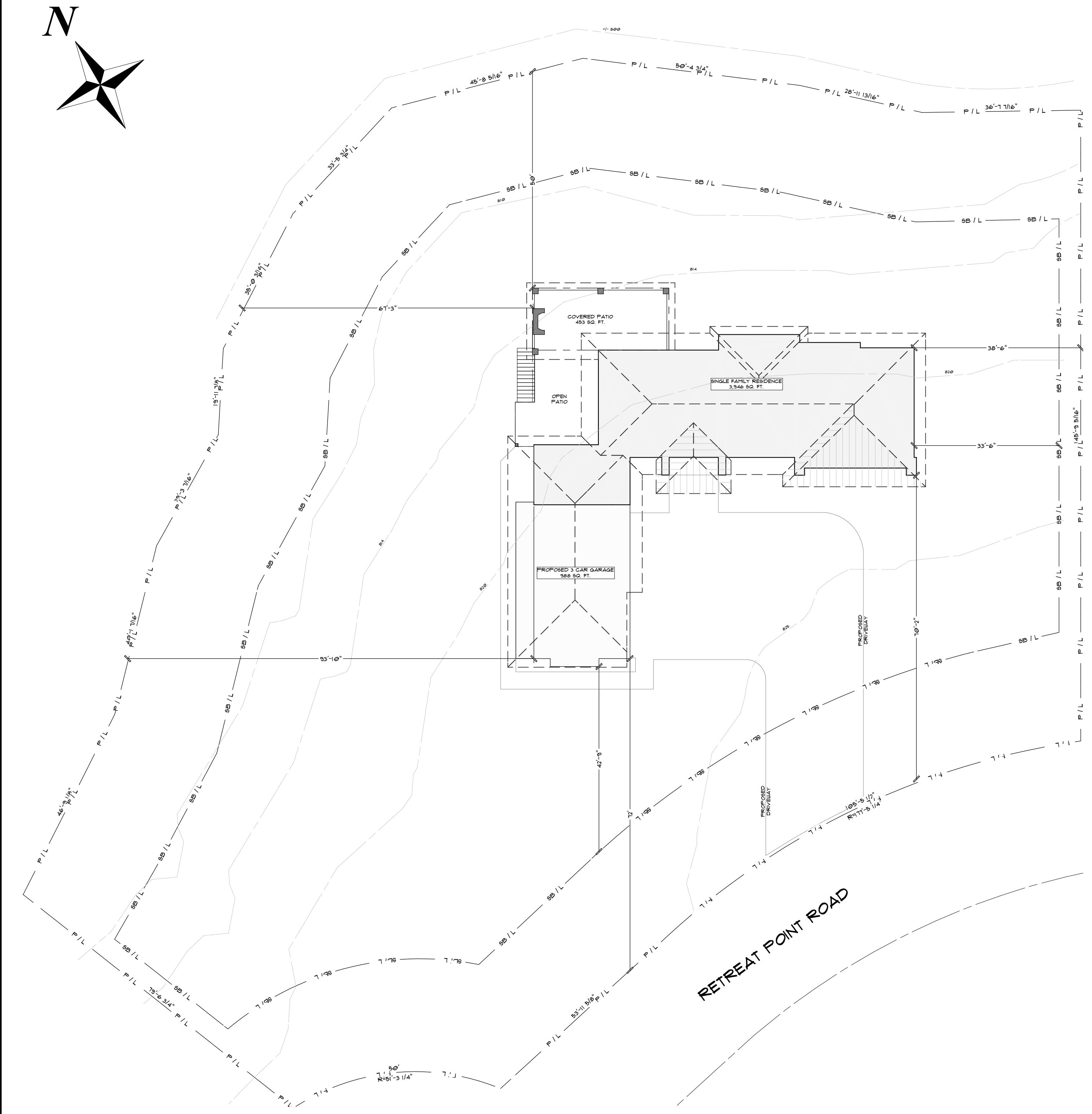
PROPOSED NEW SINGLE FAMILY HOME RESIDENCE
3,946 SQ. FT. / 2 STORIES / 3 BED 3 1/2 BATH
MODERN STYLE HOME



VICINITY MAP

GENERAL NOTES

1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF STANDARD BUILDING CODE FOR 2022
 - A. 2022 RESIDENTIAL CODE
 - B. 2022 BUILDING CODE
 - C. 2022 ELECTRICAL CODE
 - D. 2022 MECHANICAL CODE
 - E. 2022 PLUMBING CODE
 - F. 2022 FIRE CODE
 - G. 2022 ENERGY CODE
2. BEFORE ANY WORK HAS BEGUN, THE CONTRACTOR SHALL MAKE A THOROUGH INSPECTION OF THE BUILDING AND SITE TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS NOTING EXISTING WORK TO REMAIN AND NOTIFYING THE OWNER AND DRAFTER IN WRITING OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENTS.
3. ANY OMISSIONS, CONFLICTS, OR DISCREPANCIES BETWEEN THE VARIOUS ELEMENTS OF THE CONSTRUCTION DOCUMENTS AND OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND DRAFTER. ALL WORK IS TO BE COORDINATED SO THAT COOPERATION BETWEEN THE TRADES WHERE REQUIRED IS ACCOMPLISHED.
4. VERIFY ALL OPENINGS THROUGHOUT CONSTRUCTION WITH ALL PARTICIPANTS TRADES SUCH AS HEATING, PLUMBING, ELECTRICAL TRADES FOR SIZE AND LOCATION. NOTIFY OWNER AND DRAFTER IN WRITING OF ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS.
5. FOLLOW DIMENSIONS EXPLICITLY, DO NOT SCALE DRAWINGS. CONFIRM WITH DRAFTER BEFORE PROCEEDING IF CONFLICT ARISE.
6. POOL DECKS, WALLS, FENCES, PATIO COVERS, AND OTHER FREE STANDING STRUCTURES REQUIRE SEPARATE PERMIT AND REVIEW.
7. CONTRACTOR WITH HIS SELECTED H.V.A.C. SUBCONTRACTOR TO ASSESS EXISTING H.V.A.C. SYSTEMS TO DETERMINE FUNCTIONALITY & CODE COMPLIANCE. MAKE RECOMMENDATIONS TO OWNER AS TO PROPOSED MODIFICATIONS & COST. ADVISE OWNER AND DRAFTER IF FRAMING MODIFICATIONS ARE NECESSARY.
8. VERIFY & COORDINATE EXTERIOR HARDSCAPE, LANDSCAPE & IRRIGATION SYSTEMS WITH OWNER AND LANDSCAPE DRAFTER/ ARCHITECT.



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LOT 38 PENINSULA POINT SOUTH,
OCONEE, SOUTH CAROLINA

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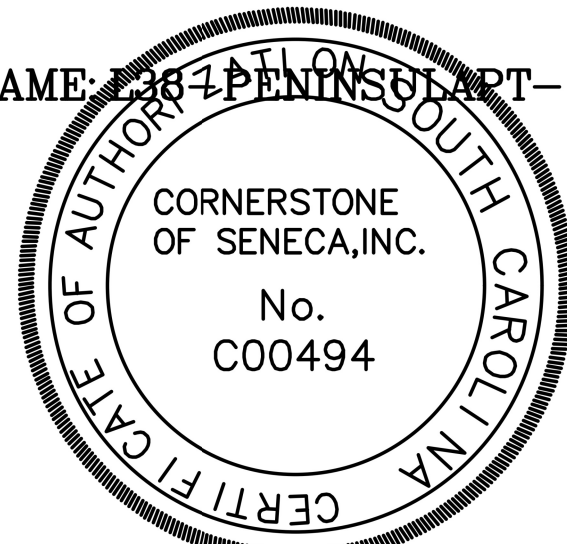
TITLE	
DATE	12/4/2023
SCALE	
ARTIST	DAVID MICHAEL DESIGNS

SHEET

A1

PLAT # B-11885
 DISK # C:\DWG_1_2018 NAME: 138-1 PENINSULA PT-RES-WEHRMEIM-JOHN-TOPO
 FB # FNA PG 05312018

SPC SC GRID NORTH



EXEMPTION FROM REVIEW PROCESS
 The survey shown hereon is a RESURVEY of an existing lot of record as recorded in Plat Book B522 page 1-6

TAX MAP PARCEL #: 162-05-0-100
 DESCRIPTION: THIS IS THE PROPERTY DESCRIBED IN DEED BOOK 2213 PAGE 196 AND KNOWN AS LOT 38 PENINSULA POINT SOUTH, PHASE 2B

REFERENCE PLAT BOOK B522 PAGE 1-6. RECORDED IN THE COUNTY RECORDS OF OCONEE.

STATE OF SOUTH CAROLINA
 COUNTY OF OCONEE,
 TOWNSHIP OF WAGENER
 CITY OF

AREA OF PARCEL : 0.95 ACRES +-

DATE : MAY 31, 2018
 REVISED ON :

PLAT PREPARED FOR:

JOHN A. WEHRHEIM
MICHELLE D. WEHRHEIM

CORNERSTONE OF SENECA, INC.
 800 WHITWORTH CIRCLE
 P.O. BOX 822
 SENECA, SC 29679
 PHONE: 864/882-6476

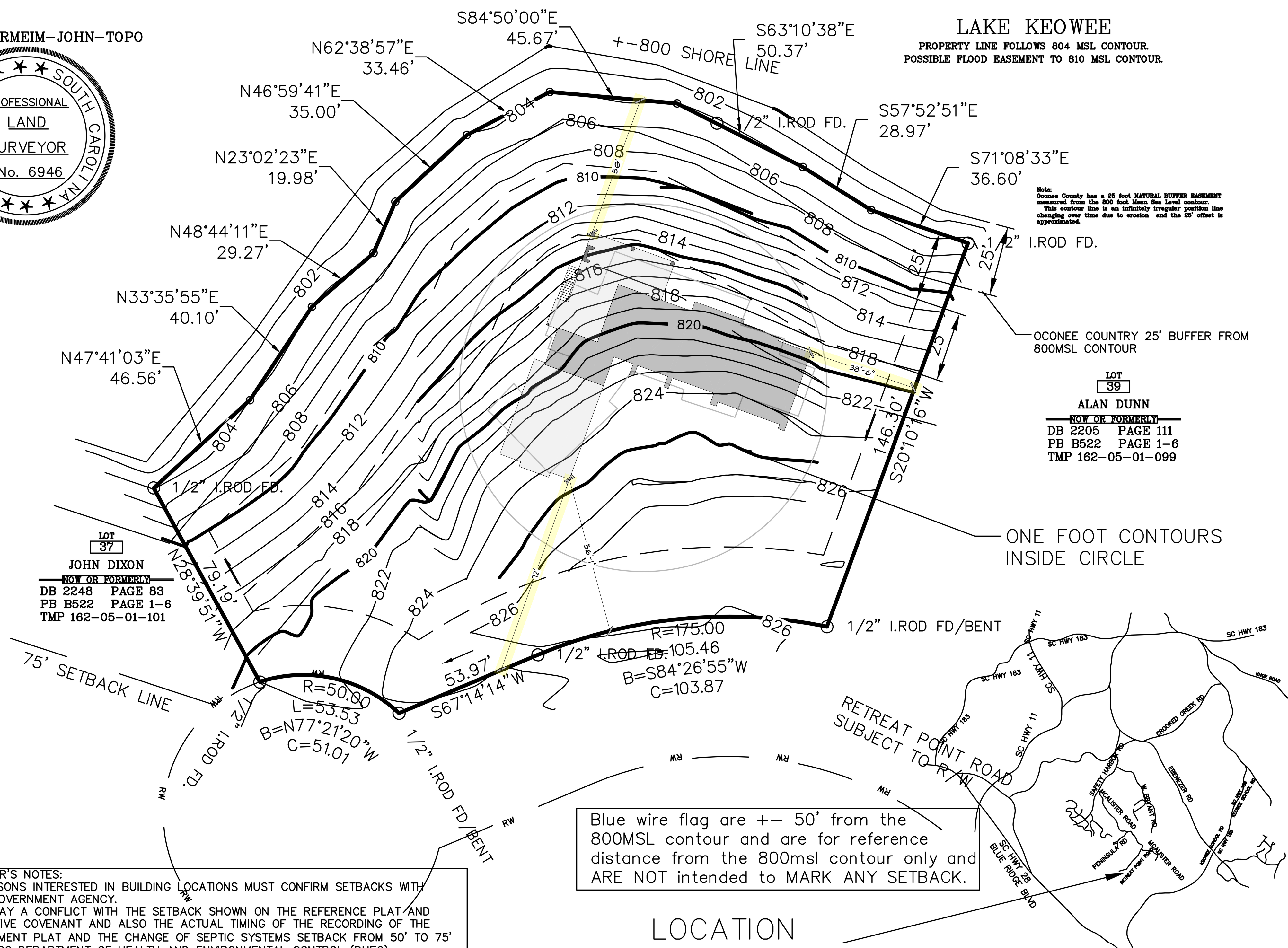
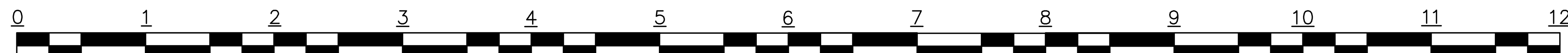
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 MICHAEL L. HENDERSON, PS 6946

SCALE: 1=40'

Recorded this ____ day of _____ 20____
 Vol ____ page ____ and Certified Register of Deeds, OCONEE County.

SURVEYOR'S NOTES:
 ALL PERSONS INTERESTED IN BUILDING LOCATIONS MUST CONFIRM SETBACKS WITH LOCAL GOVERNMENT AGENCY.
 THERE MAY A CONFLICT WITH THE SETBACK SHOWN ON THE REFERENCE PLAT AND RESTRICTIVE COVENANT AND ALSO THE ACTUAL TIMING OF THE RECORDING OF THE DEVELOPMENT PLAT AND THE CHANGE OF SEPTIC SYSTEMS SETBACK FROM 50' TO 75' BY THE SC DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL (DHEC).

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS ___B___ SURVEY AS SPECIFIED THEREIN. PROPERTY SUBJECT TO ANY AND ALL EASEMENTS ON RECORD. THIS DOCUMENT DOES NOT TRANSFER TITLE NOR NECESSARILY FOLLOWS TITLE LINES.
 This survey was prepared with documents gathered from various sources, but no title examination was furnished by an attorney. This survey is made subject to a current and complete title examination and is subject to any and all records either recorded or unrecorded that may affect this property. These may include: easements, right-of-ways, above and below ground utilities, covenants and restrictions, and any other right or agreement that may be attached to this property. Any reproduction of this document that does not have a "raised" impression SEAL and red ink signature should be considered altered or fraudulent and not to be used for any purpose. This document was prepared for legal transactions on or near the date hereon and for the above list person, persons, or identity only. No other use implied.
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LAKE KEOWEE
 PROPERTY LINE FOLLOWS 804 MSL CONTOUR.
 POSSIBLE FLOOD EASEMENT TO 810 MSL CONTOUR.

Note:
 Oconee County has a 25 foot NATURAL BUFFER EASEMENT measured from the 800 foot Mean Sea Level contour. This contour line is an infinitely irregular position line changing over time due to erosion and the 25' offset is approximated.

OCONEE COUNTRY 25' BUFFER FROM 800MSL CONTOUR

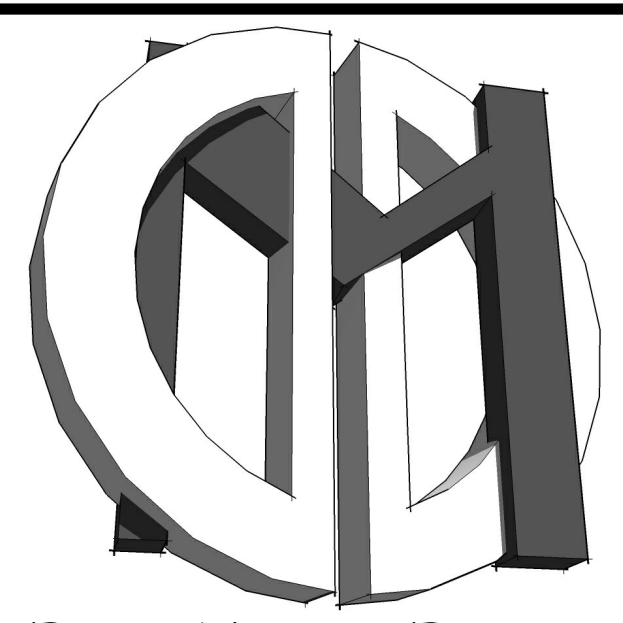
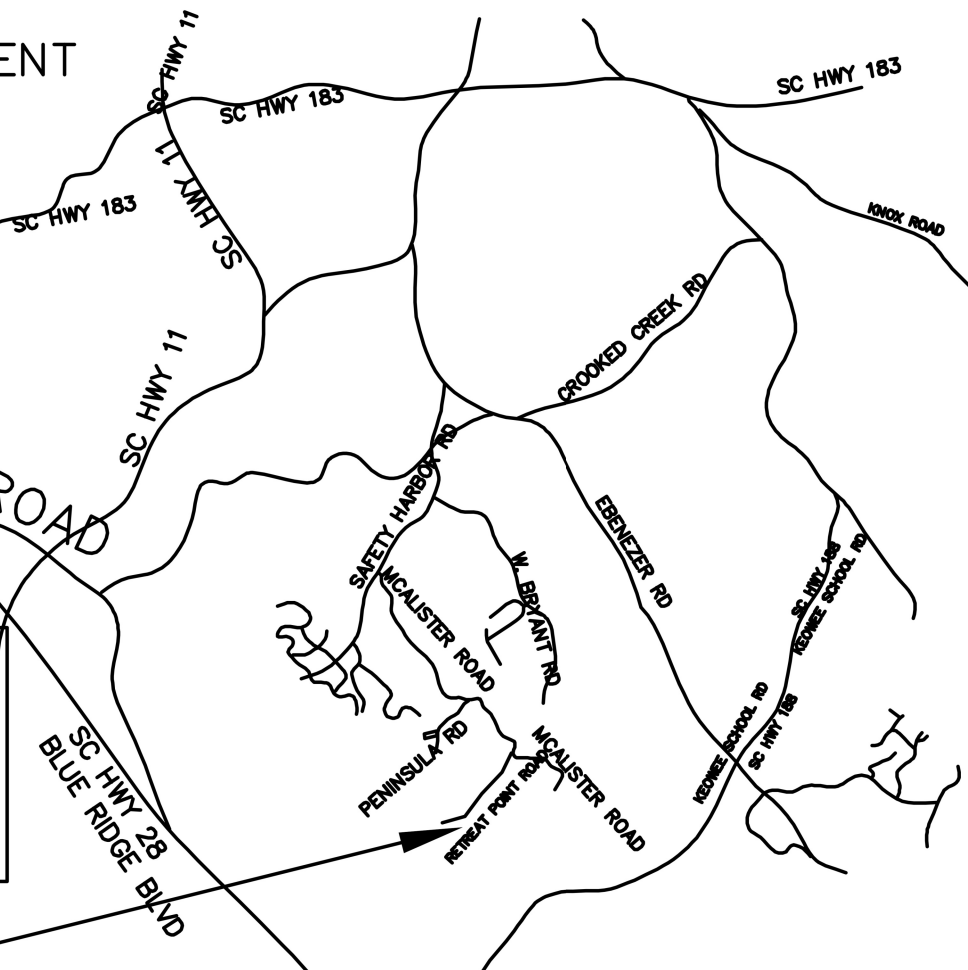
LOT 39
ALAN DUNN
 NOW OR FORMERLY
 DB 2205 PAGE 111
 PB B522 PAGE 1-6
 TMP 162-05-01-099

ONE FOOT CONTOURS INSIDE CIRCLE

Blue wire flag are +- 50' from the 800MSL contour and are for reference distance from the 800msl contour only and ARE NOT intended to MARK ANY SETBACK.

LOCATION

RETREAT POINT ROAD
 SUBJECT TO RTA



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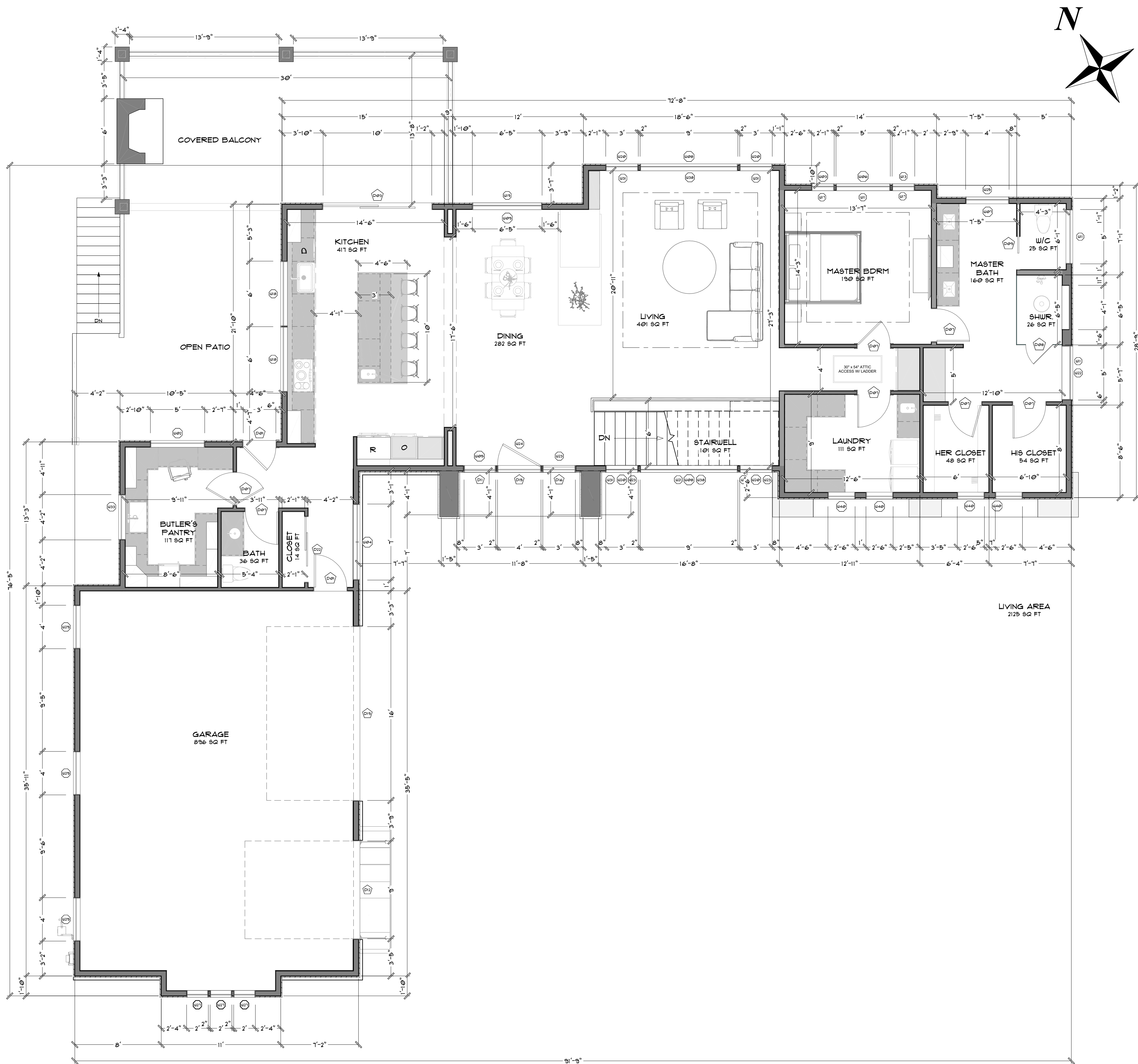
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OCONEE, SOUTH CAROLINA

2	TITLE
	DATE 12/4/2023
	SCALE
	ARTIST DAVID MICHAEL DESIGNS

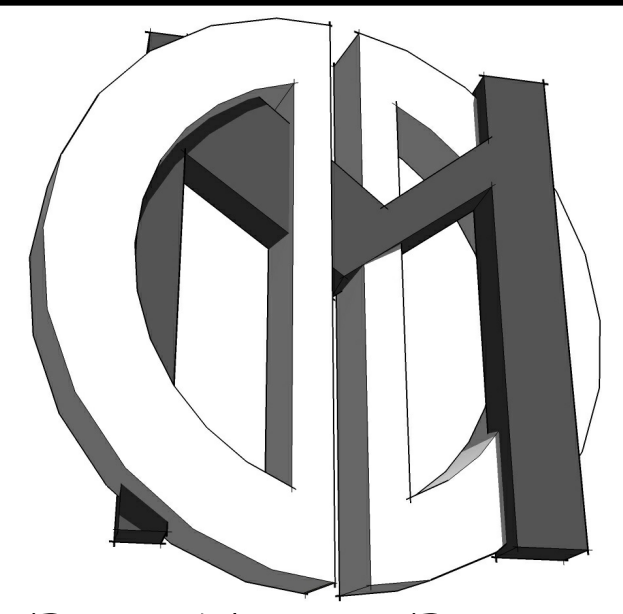
ARTIST
 DAVID MICHAEL DESIGNS

SHEET
A2



WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	DESCRIPTION	EGRESS	U-FACTOR	SHGC
W01	1	1	25"	60"	FIXED GLASS		0.3	0.3
W02	1	2	60"	48"	FIXED GLASS		0.3	0.3
W03	1	2	25"	66"	SINGLE CASEMENT-HR	YES	0.3	0.3
W04	1	2	84"	48"	DOUBLE CASEMENT-LHL/RHR		0.3	0.3
W05	1	2	35"	20"	FIXED GLASS		0.3	0.3
W06	1	2	60"	66"	FIXED GLASS		0.3	0.3
W07	1	2	48"	18"	FIXED GLASS		0.3	0.3
W08	2	2	108"	66"	FIXED GLASS		0.3	0.3
W09	1	2	71"	18"	FIXED GLASS		0.3	0.3
W11	3	2	60"	18"	FIXED GLASS		0.3	0.3
W12	2	1	25"	18"	FIXED GLASS		0.3	0.3
W13	1	2	25"	66"	SINGLE CASEMENT-HL	YES	0.3	0.3
W14	1	1	60"	60"	FIXED GLASS		0.3	0.3
W15	1	1	25"	60"	SINGLE CASEMENT-HL		0.3	0.3
W16	1	1	60"	18"	FIXED GLASS		0.3	0.3
W17	2	2	25"	18"	FIXED GLASS		0.3	0.3
W18	2	2	72"	48"	FIXED GLASS		0.3	0.3
W19	1	2	71"	60"	FIXED GLASS		0.3	0.3
W20	4	2	36"	66"	FIXED GLASS		0.3	0.3
W21	1	2	108"	20"	FIXED GLASS		0.3	0.3
W22	1	2	60"	62"	FIXED GLASS		0.3	0.3
W23	3	2	36"	20"	FIXED GLASS		0.3	0.3
W24	1	2	48"	20"	FIXED GLASS		0.3	0.3
W25	1	2	48"	60"	FIXED GLASS		0.3	0.3
W26	3	2	24"	18"	FIXED GLASS		0.3	0.3
W27	3	2	24"	66"	FIXED GLASS		0.3	0.3
W29	3	2	48"	21"	FIXED GLASS		0.3	0.3
W30	1	1	48"	15"	FIXED GLASS		0.3	0.3
W31	4	2	36"	18"	FIXED GLASS		0.3	0.3
W33	1	2	50"	48"	FIXED GLASS		0.3	0.3
W34	2	1	84"	66"	LEFT SLIDING		0.3	0.3
W38	2	2	108"	18"	FIXED GLASS		0.3	0.3
W40	4	2	30"	66"	FIXED GLASS		0.3	0.3

DOOR SCHEDULE						
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	DESCRIPTION	TEMPERED
D01	2	2	36"	96"	EXT. HINGED-PANEL	
D02	6	1	30"	96"	HINGED-PANEL	
D03	1	2	120"	96"	EXT. SLIDER-GLASS PANEL	YES
D04	1	1	48"	96"	SLIDER-GLASS PANEL	
D05	4	1	36"	96"	HINGED-PANEL	
D07	7	2	36"	96"	HINGED-PANEL	
D08	1	2	30"	80"	SHOWER-GLASS SLAB	YES
D09	1	2	36"	96"	POCKET-PANEL	
D10	1	1	60 3/16"	96"	DOUBLE HINGED-LOUVERED	
D11	1	2	35"	96"	EXT. FIXED-GLASS PANEL	
D12	1	2	108"	120"	GARAGE-AVANTE 2 PANEL 18"	
D13	1	1	60"	80"	SLIDER-GLASS PANEL	
D14	1	1	72"	96"	EXT. DOUBLE HINGED-GLASS PANEL	YES
D15	1	2	48"	96"	EXT. HINGED-GLASS PANEL	
D16	1	2	36"	96"	EXT. FIXED-GLASS PANEL	
D18	1	1	144"	96"	EXT. QUAD SLIDER-GLASS PANEL	YES
D19	1	2	192"	96"	GARAGE-AVANTE 3 PANEL 21"	
D22	1	2	72"	96"	SLIDER-GLASS PANEL	



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3	TITLE	FLOOR PLAN
	DATE	12/4/2023
	SCALE	1/5" = 1'-0"
	ARTIST	DAVID MICHAEL DESIGNS

David Michael

SHEET	A3
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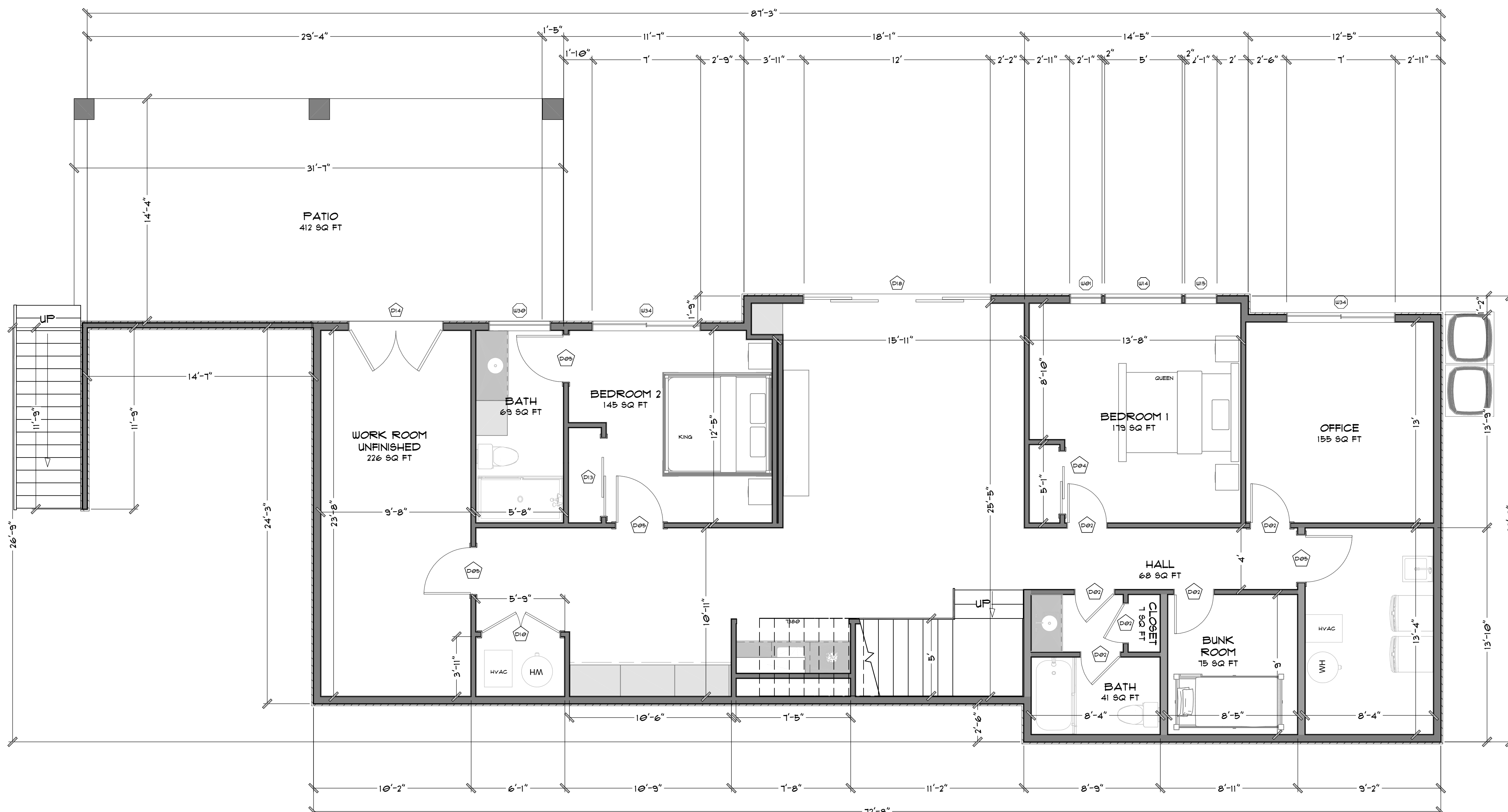
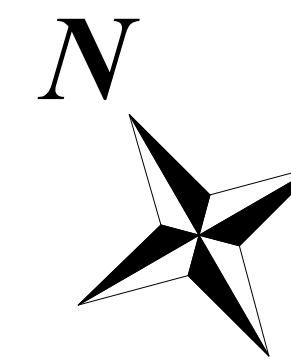
PROPOSED MAIN FLOOR PLAN

SCALE: 1/5" = 1'-0" **3**



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WINDOW SCHEDULE							
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	DESCRIPTION	EGRESS	U-FACTOR SHGC
W01	1	1	25"	60"	FIXED GLASS		0.3 0.3
W02	1	2	60"	48"	FIXED GLASS		0.3 0.3
W03	1	2	25"	66"	SINGLE CASEMENT-HR	YES	0.3 0.3
W04	1	2	84"	48"	DOUBLE CASEMENT-LHL/RHR		0.3 0.3
W05	1	2	35"	20"	FIXED GLASS		0.3 0.3
W06	1	2	60"	66"	FIXED GLASS		0.3 0.3
W07	1	2	48"	18"	FIXED GLASS		0.3 0.3
W08	2	2	108"	66"	FIXED GLASS		0.3 0.3
W09	1	2	71"	18"	FIXED GLASS		0.3 0.3
W10	3	2	60"	18"	FIXED GLASS		0.3 0.3
W11	2	1	25"	18"	FIXED GLASS		0.3 0.3
W12	1	2	25"	66"	SINGLE CASEMENT-HL	YES	0.3 0.3
W13	1	1	60"	60"	FIXED GLASS		0.3 0.3
W14	1	1	25"	60"	SINGLE CASEMENT-HL		0.3 0.3
W15	1	1	60"	18"	FIXED GLASS		0.3 0.3
W16	2	2	25"	18"	FIXED GLASS		0.3 0.3
W17	2	2	12"	48"	FIXED GLASS		0.3 0.3
W18	1	2	71"	60"	FIXED GLASS		0.3 0.3
W19	4	2	36"	66"	FIXED GLASS		0.3 0.3
W20	1	2	108"	20"	FIXED GLASS		0.3 0.3
W21	1	2	60"	62"	FIXED GLASS		0.3 0.3
W22	3	2	36"	20"	FIXED GLASS		0.3 0.3
W23	1	2	48"	20"	FIXED GLASS		0.3 0.3
W24	1	2	48"	60"	FIXED GLASS		0.3 0.3
W25	3	2	24"	18"	FIXED GLASS		0.3 0.3
W26	3	2	24"	66"	FIXED GLASS		0.3 0.3
W27	3	2	48"	21"	FIXED GLASS		0.3 0.3
W28	1	1	48"	15"	FIXED GLASS		0.3 0.3
W30	4	2	36"	18"	FIXED GLASS		0.3 0.3
W31	1	2	50"	48"	FIXED GLASS		0.3 0.3
W32	2	1	84"	66"	LEFT SLIDING		0.3 0.3
W33	2	2	108"	18"	FIXED GLASS		0.3 0.3
W40	4	2	30"	66"	FIXED GLASS		0.3 0.3

DOOR SCHEDULE						
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	DESCRIPTION	TEMPERED
D01	2	2	30"	96"	EXT. HINGED-PANEL	
D02	6	1	30"	96"	HINGED-PANEL	
D03	1	2	120"	96"	EXT. SLIDER-GLASS PANEL	YES
D04	1	1	48"	96"	SLIDER-GLASS PANEL	
D05	4	1	36"	96"	HINGED-PANEL	
D07	7	2	36"	96"	HINGED-PANEL	
D08	1	2	30"	80"	SHOWER-GLASS SLAB	YES
D09	1	2	36"	96"	POCKET-PANEL	
D10	1	1	60 3/16"	96"	DOUBLE HINGED-LOUVERED	
D11	1	2	35"	96"	EXT. FIXED-GLASS PANEL	
D12	1	2	108"	120"	GARAGE-AVANTE 2 PANEL 18"	
D13	1	1	60"	80"	SLIDER-GLASS PANEL	
D14	1	1	72"	96"	EXT. DOUBLE HINGED-GLASS PANEL	YES
D15	1	2	48"	96"	EXT. HINGED-GLASS PANEL	
D16	1	2	36"	96"	EXT. FIXED-GLASS PANEL	
D18	1	1	144"	96"	EXT. QUAD SLIDER-GLASS PANEL	YES
D19	1	2	192"	96"	GARAGE-AVANTE 3 PANEL 21"	
D22	1	2	72"	96"	SLIDER-GLASS PANEL	

PROPOSED BASEMENT PLAN

SCALE: 1/4" = 1'-0"

4

SHEET

A4



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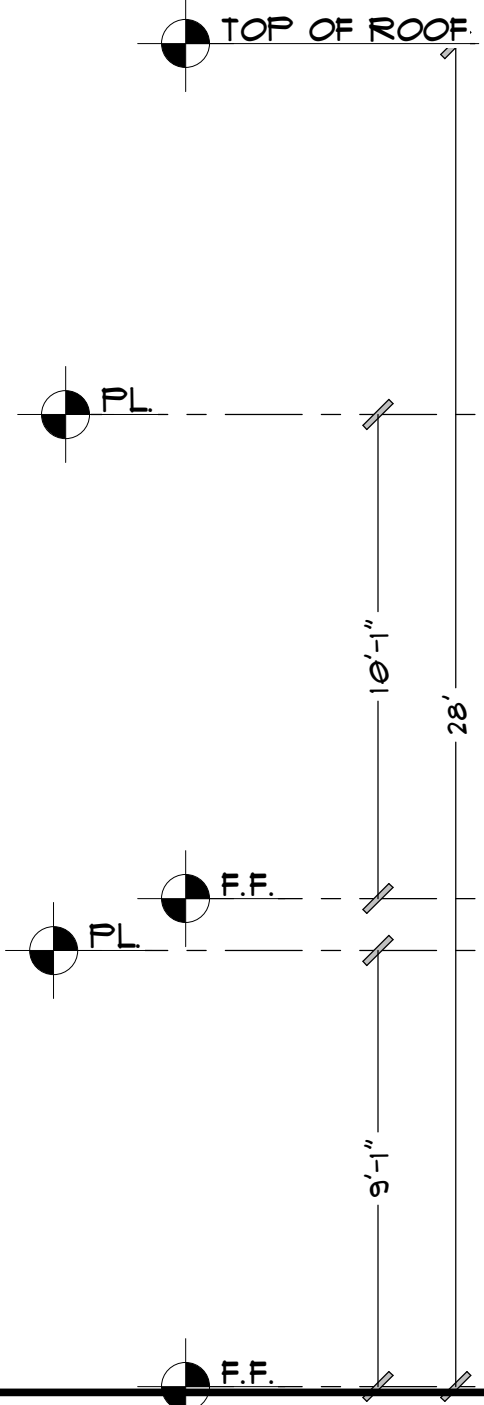
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LOT 38 PENINSULA POINT SOUTH,
OCONEE, SOUTH CAROLINA

5	TITLE	ELEVATIONS
	DATE	12/4/2023
	SCALE	1/4" = 1'-0"
	ARTIST	DAVID MICHAEL DESIGNS

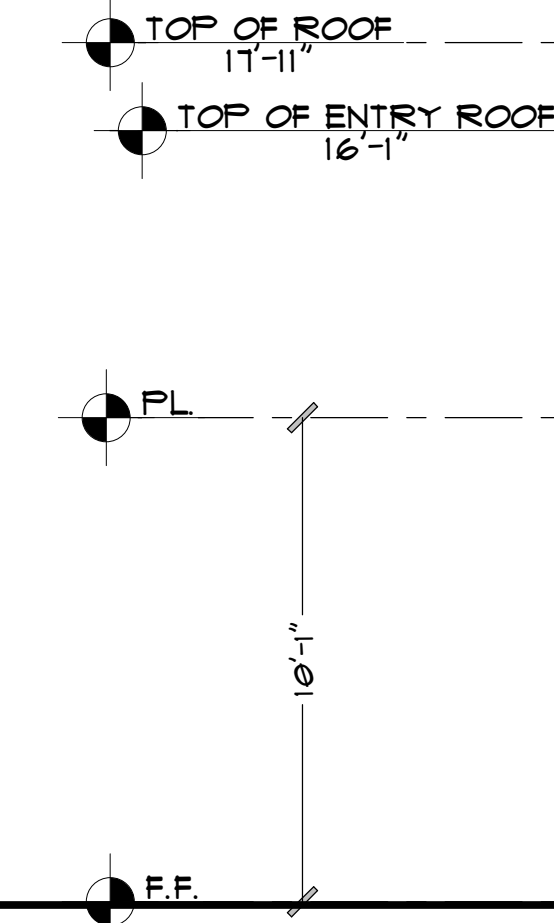
David Michael

SHEET

A5



PROPOSED NORTH ELEVATION SCALE: 1/4" = 1'-0" N



PROPOSED SOUTH ELEVATION SCALE: 1/4" = 1'-0" S

PROPOSED ELEVATIONS SCALE: 1/4" = 1'-0" 5



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REVISIONS

1	
2	

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PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

E



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

W

PROPOSED ELEVATIONS

SCALE: 1/4" = 1'-0"

6

HOME OWNER:
JOHN AND MICHELLE WEHRHEIM
RETREAT POINT ROAD
LOT 38 PENINSULA POINT SOUTH,
OCONEE, SOUTH CAROLINA

6	ELEVATIONS
DATE	12/4/2023
SCALE	1/4" = 1'-0"

ARTIST
DAVID MICHAEL
DESIGNS

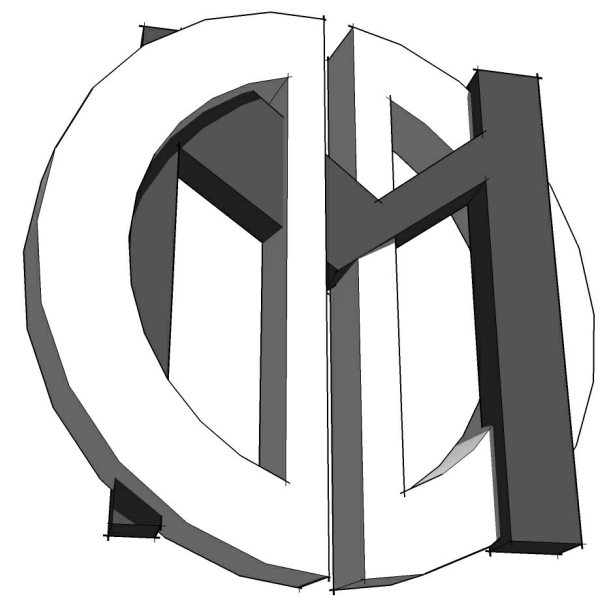
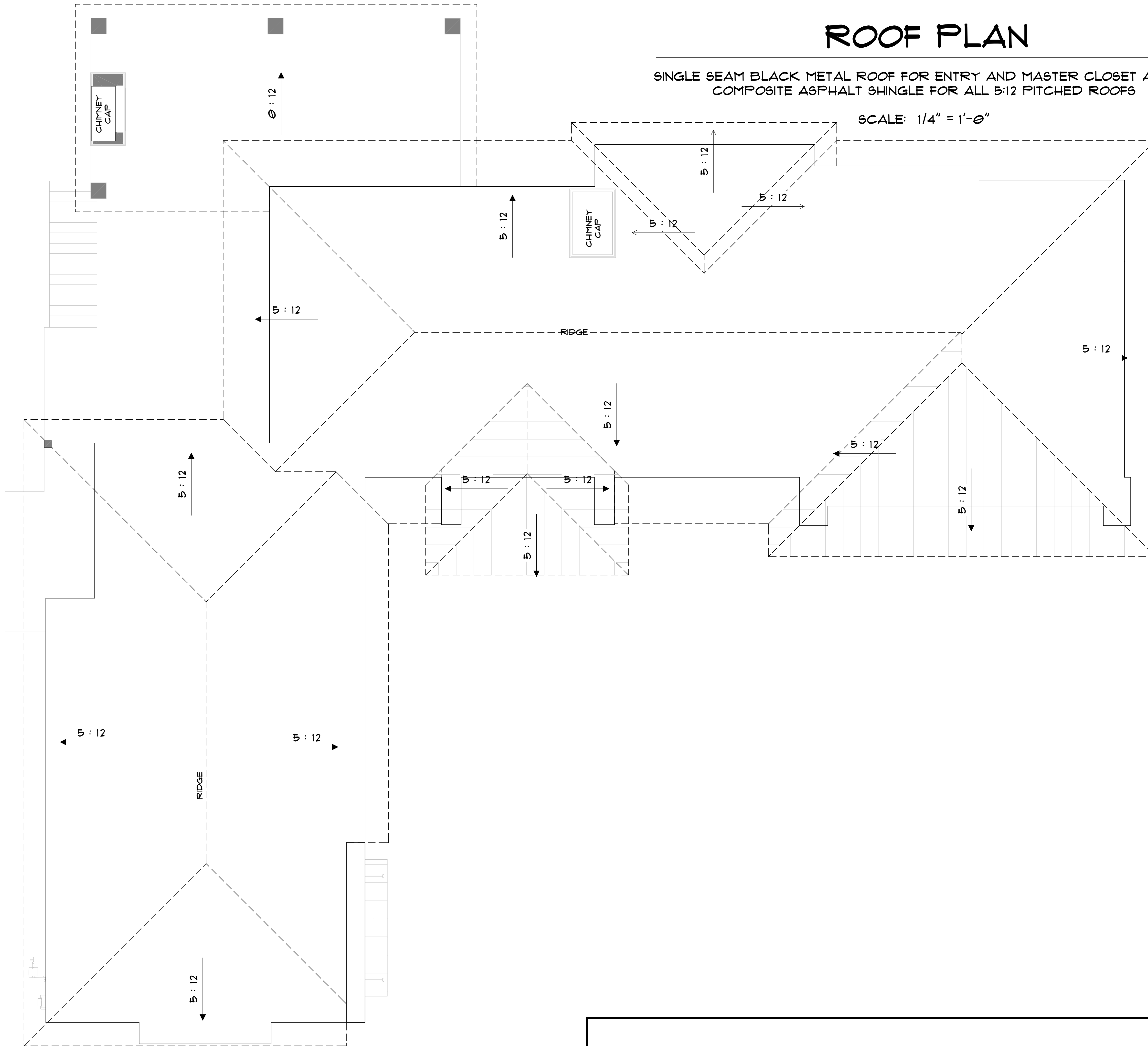
SHEET

A6

ROOF PLAN

SINGLE SEAM BLACK METAL ROOF FOR ENTRY AND MASTER CLOSET AREAS.
COMPOSITE ASPHALT SHINGLE FOR ALL 5:12 PITCHED ROOFS

SCALE: 1/4" = 1'-0"



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HOME OWNER:
JOHN AND MICHELLE WEHRHEIM
RETREAT POINT ROAD
LOT 38 PENINSULA POINT SOUTH,
OCONEE, SOUTH CAROLINA

7	
TITLE	ROOF
DATE	12/4/2023
SCALE	1/4" = 1'-0"
ARTIST DAVID MICHAEL DESIGNS	

SHEET

A7

ROOF PLAN

SCALE:
1/4" = 1'-0"

7