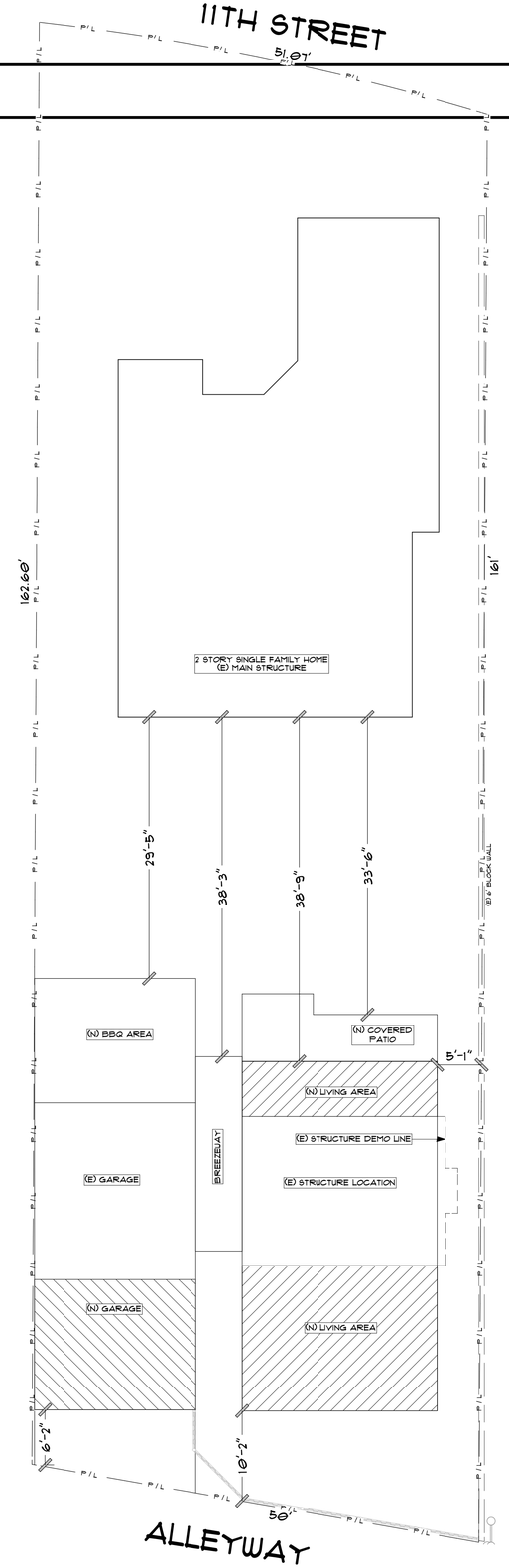
THE AARON & BIZ PROJECT

SITE PLAN

SCALE: 1/8" = 1'-0" (1)



OWNER:

AARON AND ELIZABETH DAY
936 11TH ST, HUNTINGTON BEACH,
CA 92648

DRAFTER:

DAVID MICHAEL DESIGNS
712 CENTER STREET
COSTA MESA, CA. 92627
PH: 949.701.9539
FAX: 949.650.2192
DAVIDMICHAELDESIGNS@GMAIL.COM

ENGINEER

AQX ENGINEERING INC.
1520 BROOKHOLLOW, SUITE 45
SANTA ANA, CA. 92705
TEL: 714.662.0510
FAX: 714.662.0559
CHUNG@AQXENGINEERING.COM

BUILDER:

SITE INDEX:

PROJECT DATA

OCCUPANCY: R3-U

APN: 024-061-09

CONSTRUCTION TYPE V-B

HUNTINGTON BEACH WESLEY PARK
SECTION LOT 36 BLK 910 AND LOT 37
BLK 910 TR 358

SQUARE FOOTAGES:

(E) GRANNY UNIT: 382 SQ. FT.
(E) GARAGE: 615 SQ. FT.

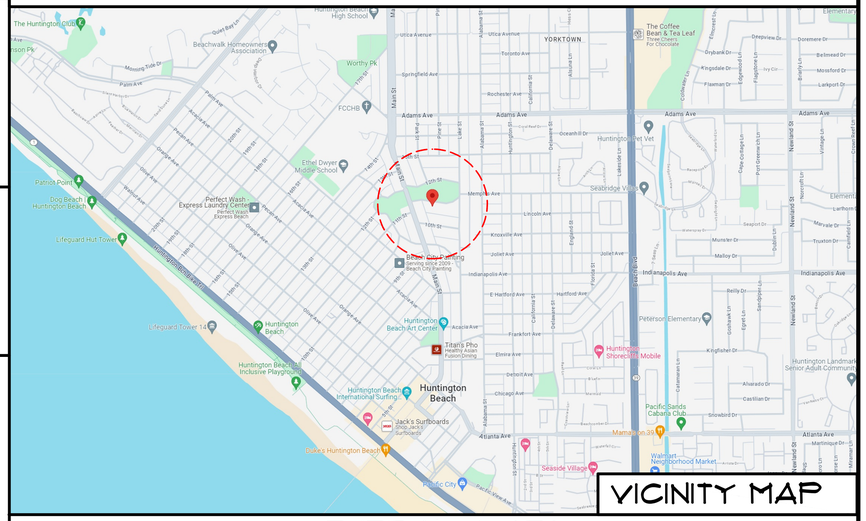
(N) LIVING AREA = 466 SQ. FT.
(N) GARAGE = 10 SQ. FT.
(N) BBQ AREA = 253 SQ. FT.
(N) BREEZEWAY: 128 SQ. FT.

(T) LIVING AREA = 848 SQ. FT.
(T) GARAGE = 625 SQ. FT.

SCOPE OF WORKS

PROPOSED ADDITION TO (E) GRANNY UNIT IN BACK.

EXPAND (E) STRUCTURE TO A: (2) BEDROOM (1) BATH GRANNY UNIT WITH GARAGE EXTENSION. ADD NEW BBQ AREA, RAISE CEILINGS TO 10' AND ADD (N) ROOF.



VICINITY MAP

GENERAL NOTES

1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF CBC 2022
   - A. 2022 CALIFORNIA RESIDENTIAL CODE
   - B. 2022 CALIFORNIA BUILDING CODE
   - C. 2022 CALIFORNIA GREEN BUILDING CODE
   - D. 2022 CALIFORNIA ELECTRICAL CODE
   - E. 2022 CALIFORNIA MECHANICAL CODE
   - F. 2022 CALIFORNIA PLUMBING CODE
   - G. 2022 CALIFORNIA FIRE CODE
   - H. 2022 CALIFORNIA ENERGY CODE
2. BEFORE ANY WORK HAS BEGUN, THE CONTRACTOR SHALL MAKE A THOROUGH INSPECTION OF THE BUILDING AND SITE TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS NOTING EXISTING WORK TO REMAIN AND NOTIFYING THE OWNER AND DRAFTER IN WRITING OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENTS.
3. ANY OMISSIONS, CONFLICTS, OR DISCREPANCIES BETWEEN THE VARIOUS ELEMENTS OF THE CONSTRUCTION DOCUMENTS AND OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND DRAFTER. ALL WORK IS TO BE COORDINATED SO THAT COOPERATION BETWEEN THE TRADES WHERE REQUIRED IS ACCOMPLISHED.
4. VERIFY ALL OPENINGS THROUGHOUT CONSTRUCTION WITH ALL PARTICIPANTS TRADES SUCH AS HEATING, PLUMBING, ELECTRICAL TRADES FOR SIZE AND LOCATION. NOTIFY OWNER AND DRAFTER IN WRITING OF ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS.
5. FOLLOW DIMENSIONS EXPLICITLY, DO NOT SCALE DRAWINGS. CONFIRM WITH DRAFTER BEFORE PROCEEDING IF CONFLICT ARISE.
6. POOL, SPAS, WALLS, FENCES, PATIO COVERS, AND OTHER FREE STANDING STRUCTURES REQUIRE SEPARATE PERMIT AND REVIEW.
7. CONTRACTOR WITH HIS SELECTED H.V.A.C. SUBCONTRACTOR TO ASSESS EXISTING H.V.A.C. SYSTEMS TO DETERMINE FUNCTIONALITY & CODE COMPLIANCE. MAKE RECOMMENDATIONS TO OWNER AS TO PROPOSED MODIFICATIONS & COST. ADVISE OWNER AND DRAFTER IF FRAMING MODIFICATIONS ARE NECESSARY.
8. VERIFY & COORDINATE EXTERIOR HARDSCAPE, LANDSCAPE & IRRIGATION SYSTEMS WITH OWNER AND LANDSCAPE DRAFTER/ARCHITECT.

DAVID MICHAEL DESIGNS
712 CENTER STREET, COSTA MESA, CA. 92627
PH: 949.701.9539 FAX: 949.650.2192
EMAIL: DAVIDMICHAELDESIGNS@GMAIL.COM

REVISIONS
1
2

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1	
TITLE	
DATE	4/15/2024
SCALE	1/8" = 1'-0"
ARTIST	
DAVID MICHAEL DESIGNS	

SHEET
A1

THE PAPER SIZE NEEDS TO BE 24" X 36" TO SCALE PROPERLY

WEBSITE: WWW.DAVIDMICHAELDESIGNS.COM

RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS

PLUMBING NOTES BATHROOM

PROVIDE TEMPERED GLASS AT TUB/SHOWER DOORS AND AT WINDOWS LESS THAN 60" FROM TUB/SHOWER DRAIN. SHOWER AND TUB/SHOWER CONTROL VALVES SHALL BE PRESSURE BALANCING SET AT A MAXIMUM 120 DEGREES F. THE WATER-FILLER VALVE IN BATHTUB/WHIRLPOOLS SHALL HAVE A TEMPERATURE LIMITING DEVICE SET A MAXIMUM OF 120 DEGREES F. THE WATER HEATER THERMOSTAT CANNOT BE USED TO MEET THESE PROVISIONS. [CPC 408.3, 409.4]

- SITE BUILT SHOWER STALLS SHALL COMPLY WITH CPC 408.7.
- STALL SHOWER DOOR TO PROVIDE A MIN. OF 22" WIDE UNOBSTRUCTED OPENING. [CPC 408.5].
- TOILET AND/OR BIDET REQUIRE A TOTAL MINIMUM 30" CLEAR SPACE, 15" FROM THE CENTER OF THE FIXTURE TO THE WALL, AND A MINIMUM OF 24" CLEAR SPACE IN FRONT OF THE FIXTURE. [CPC 402.5]
- WHEN ADDITIONAL WATER CLOSETS (TOILETS) ARE INSTALLED, A MAXIMUM OF 3 WATER CLOSETS ARE ALLOWED ON A 3" WASTE LINE. [TABLE 703.2,NOTE 4]
- THE HOT WATER VALVE SHALL BE INSTALLED ON THE LEFT SIDE. [CPC 417.5]
- A MINIMUM 12" X 12" ACCESS PANEL IS REQUIRED WHEN A SLIP JOINT P-TRAP WASTE & OVERFLOW IS PROVIDED.
- WHERE PLUMBING FEATURES (WATER CLOSETS, TUBS, ETC.) COMES INTO CONTACT WITH THE WALL OR FLOOR, THE JOINT SHALL BE CAULKED AND SEALED TO BE WATERTIGHT. [CPC 402.2]

PLUMBING NOTES KITCHEN

- A GAS TEST IS REQUIRED ON PIPING MODIFICATIONS (10 PSI FOR 15 MINUTES). A MAXIMUM 15 PSI GAUGE IS REQUIRED FOR THE GAS TEST. A LOWER GAS PRESSURE TEST MAY BE PERFORMED WHEN USING A RECORDING TEST GAUGE PER SECTION 1213.3 OF THE CPC.
- GAS LINES THAT RUN UNDER A SLAB SHALL RUN THROUGH AN APPROVED, VENTED, GAS TIGHT CONDUIT. GAS LINE SHALL BE ENCASED IN AN APPROVED CONDUIT DESIGNED TO WITHSTAND THE IMPOSED LOADS AND INSTALLED IN ACCORDANCE WITH SECT. 1210.1.6.1 OR 1210.1.6.2. OR ENCASEMENT SYSTEM THAT IS LISTED FOR INSTALLATION BENEATH BUILDING.
- AN ACCESSIBLE SHUTOFF VALVE SHALL BE INSTALLED OUTSIDE EACH APPLIANCE AND AHEAD OF THE UNION CONNECTED THERETO AND IN ADDITION TO ANY VALVE ON THE APPLIANCE [CPC 1210.11]
- PROVIDE MAXIMUM 6-FT- LONG LISTED GAS FLEXIBLE CONNECTOR AND SHUT OFF TO FREESTANDING RANGE.
- A LISTED AIR GAP IS REQUIRED FOR THE DISHWASHER DRAIN. [CPC 807.3]
- THE MAXIMUM FLOW RATE STANDARDS FOR THE SINK FAUCETS ARE 1.8 GPM AT 60PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GPM AT 60PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GPM. [CPC 407.1.1]

ELECTRICAL NOTES KITCHEN

- ALL KITCHEN COUNTERTOP OUTLETS SHALL BE GFCI PROTECTED. [CEC 210.8(A)(6)]
- RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
- 12" OR WIDER COUNTERTOPS REQUIRE AN OUTLET. [CEC 210.52(C)(1)]
- OUTLETS ARE REQUIRED WITHIN 24" OF ANY LOCATION ALONG THE COUNTERTOP. [CEC 210.52(C)(1)]
- KITCHEN OUTLETS POSITIONED A MAXIMUM 20" ABOVE COUNTERTOP. [CEC 210.52(C)(5)]
- APPLIANCE GARAGE OUTLETS ARE NOT COUNTED AS A REQUIRED COUNTERTOP OUTLET. [CEC 210.52(C)(5)]
- APPLIANCES AND SINKS BREAK UP THE COUNTERTOP RUN, REQUIREMENT EACH SIDE TO COMPLY INDIVIDUALLY.
- [CEC 210.52 (C)(4)]
- THE ELECTRICAL OUTLET REQUIREMENTS INCLUDE ISLANDS, PENINSULAS, KITCHEN DESKTOPS, WET BARS, AND SERVING BARS. A LARGE WINDOW ACROSS THE BACK OF A SINK OR LACK OF A BACKSPLASH DOES NOT EXEMPT THE COUNTERTOP FROM THE OUTLET REQUIREMENTS. THESE OUTLETS MAY BE IN A DROP FRONT CABINET FACE, UNDER CABINET PLUG STRIP, POP UP OR TOMBSTONE- TYPE RECEPTACLE. [CEC 210.52(C)(2),(3),(4)]
- TWO SMALL APPLIANCE OUTLET CIRCUITS, 20 AMPS EACH, ARE REQUIRED FOR KITCHENS. CIRCUITS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS. (CEC 210.52(B)(1),(2)]
- INDIVIDUAL DEDICATED CIRCUITS ARE REQUIRED FOR ALL MAJOR APPLIANCES. THE RATING OF AN INDIVIDUAL BRANCH CIRCUIT SHALL NOT BE LESS THAN THE MARKED RATING OF THE APPLIANCE OR THE MARKED RATING OF AN APPLIANCE HAVING COMBINED LOADS AS PROVIDED IN 422.62. [210.11 (C) & 422.10 (A)]
- GARBAGE DISPOSAL CORD AND PLUG CONNECTED 18" TO 36" LONG. [CEC 422.16(B)(1)]
- DISHWASHER CORD 36" TO 48" LONG. ROMEX INSTALLED WITH A PLUG IS NOT AN APPROVED FLEXIBLE CORD. [CEC 422.16(B)(2)]
- MINIMUM 15 AMP CIRCUIT FOR THE DISHWASHER AND A 15 AMP CIRCUIT FOR THE DISPOSAL [CEC 210.23(A)]
- IF USING A SPLIT OUTLET (TWO CIRCUITS ON THE SAME YOKE) FOR DISHWASHER/DISPOSAL, PROVIDE A LISTED HANDLE TIE AT THE TWO CIRCUIT BREAKERS AT THE PANEL [CEC 210.7]
- RESIDENTIAL KITCHEN LIGHTING IS REQUIRED TO MEET THE ENERGY EFFICIENCY STANDARDS. [CENC 150(K)(3)]
- IC (DIRECT CONTACT) AND AT (AIR TIGHT) RATED CANS ARE REQUIRED FOR RECESSED LIGHTING IF INSTALLED IN AN INSULATED CEILING. FOR OCCUPANCIES WITH A HORIZONTAL (FLOOR/CEILING ASSEMBLY) RATED SEPARATION, THE RECESSED FIXTURES SHALL BE PROTECTED TO THE RATING OF THE SEPARATION (1 HOUR) OR BE LISTED FOR THE REQUIRED PROTECTION. THIS GENERALLY APPLIES TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS. [CEC 150(K)(8)]
- FLUORESCENT RECESSED LIGHTING, WHEN USED TO COMPLY WITH THE LIGHTING REQUIREMENTS, MUST BE OF A PIN BASE TYPE DESIGN. INCANDESCENT SCREW TYPE BASE IS NOT APPROVED.
- INCANDESCENT AND FLUORESCENT LIGHTING MUST BE ON SEPARATE SWITCHES. [CEC 150(K)(2)]
- AFCI PROTECTION IS REQUIRED TO KITCHEN BY ANY OF THE MEANS DESCRIBED IN 210.12(A)(1) – THROUGH (6). [CEC 210.12 (A)].
- GFI PROTECTION FOR LAUNDRY AREA. [CEC 210.8 (A)(10)]
- GFI PROTECTION FOR DISHWASHER. [CEC 210.8(D)].

ELECTRICAL NOTES BATHROOMS

- PROVIDE A 20 AMP GFCI PROTECTED ELECTRICAL OUTLET WITHIN 36" OF THE OUTSIDE EDGE OF EACH BATHROOM SINK BASIN. OUTLET SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN OR INSTALLED ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12" BELOW THE COUNTERTOP. [CEC 210.52(D)]
- RECEPTACLES SHALL BE LISTED AS TAMPER-RESISTANT.
- A MINIMUM OF ONE (1) 20-AMP CIRCUIT IS REQUIRED FOR BATHROOMS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. THIS CIRCUIT MAY SERVE MORE THAN ONE BATHROOM. [CEC 210.52(D)]
- NO PENDANT LIGHT FIXTURES IN ZONE, 3 FT. AWAY AND 8 FT. ABOVE THE BATHTUB OR SHOWER. [CEC 410.10(D)]
- LUMINARIES LOCATED WITHIN THE ACTUAL OUTSIDE DIMENSIONS OF THE TUB, SHOWER, AND CEILING SUSPENDED PADDLE FANS, UP TO 8 FEET VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER THRESHOLD, SHALL BE MARKED AS SUITABLE FOR DAMP LOCATIONS, PROVIDED WITH A SOLID LENS AND BE GFCI PROTECTED. [CEC 410.10(D)]
- BATHROOM LIGHTING SHALL BE HIGH EFFICACY LUMINARIES IN ACCORDANCE WITH TABLE 150.0-A AND HAVE AT LEAST ONE LUMINAIRE IN EACH SPACE CONTROLLED BY A VACANCY SENSOR 150.0(K)2J.
- RECESSED LUMINARIES INSTALLED IN AN INSULATED CEILING SHALL BE IC RATED (ZERO CLEARANCE) AND AT RATED (AIR TIGHT) AND SHALL BE SEALED AND/OR GASKET BETWEEN CEILING AND HOUSING. FOR OCCUPANCIES WITH A HORIZONTAL (FLOOR/CEILING ASSEMBLY) RATED SEPARATION, THE RECESSED FIXTURES SHALL BE PROTECTED TO THE RATING OF THE SEPARATION (1 HOUR) OR BE LISTED FOR THE REQUIRED PROTECTION. THIS GENERALLY APPLIED TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS.
- HYDRO-MASSAGE TUBS (I.E. JACUZZI TUBS) SHALL HAVE ACCESS TO THE MOTOR, BE SUPPLIED BY A GFCI PROTECTED DEDICATED CIRCUIT, AND LISTED BY A RECOGNIZED TESTING AGENCY. ALL PIPING, FITTING, METAL CABLES OR OTHER METAL SURFACES, WITHIN 5 FEET OF THE INSIDE WALL OF THE HYDROMASSAGE TUB SHALL BE PROPERLY BONDED. HYDRO-MASSAGE TUBS SHALL BE BONDED WITH A MINIMUM #8 AWG BARE COPPER WIRE AND THE BONDING SHALL BE ACCESSIBLE. [CEC 680.60] ALL RECESSED DOWNLIGHT LUMINARIES SHALL BE IN ACCORDANCE WITH REFERENCE JOINT APPENDIX JA8 AND BE MARKED AS MEETING JA8.

MECHANICAL NOTES BATHROOMS.

- A BATH EXHAUST FAN W/BACK DRAFT DAMPER IS REQUIRED REGARDLESS OF THE PRESENCE OF A WINDOW. EXHAUST MUST VENT TO OUTDOORS IN AN APPROVED DUCT. TERMINATE THE OUTLET A MINIMUM OF 3 FT FROM AN OPENING OR PROPERTY LINE. [CMC 502.2.1] A MINIMUM RATE OF 50 CFM IS REQUIRED. FAN SHALL MEET ASHRA STANDARD 62.2. A MAXIMUM OF 3 SONE RATING IS REQUIRED.

GENERAL NOTES

DAVID MICHAEL DESIGNS
712 CENTER STREET, COSTA MESA, CA. 92627
PH: 949.701.9393 FAX: 949.650.7192
EMAIL: DAVIDMICHAELDESIGNS@GMAIL.COM

REVISIONS

1

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HOME OWNER:

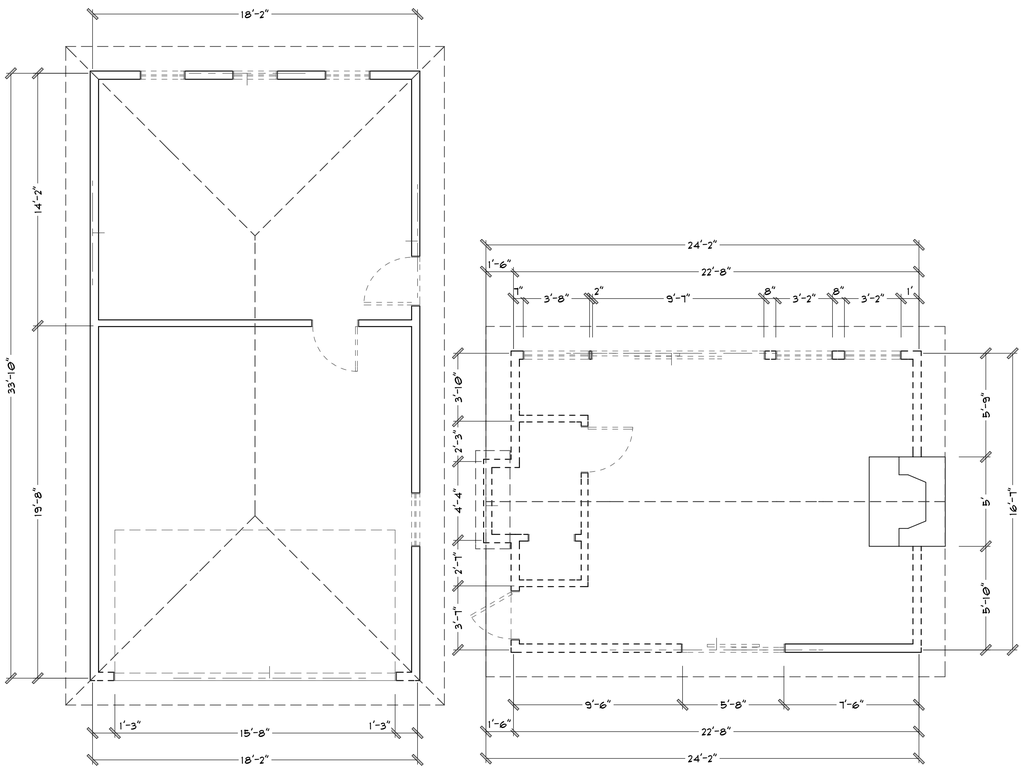
AARON AND ELIZABETH DAY
936 11TH ST, HUNTINGTON BEACH, CA 92648

2	
TITLE	
DATE	4/15/2024
SCALE	

ARTIST
DAVID MICHAEL DESIGNS

SHEET
A2

(E) MAIN STRUCTURE



N

W/L WALL LEGEND & BASIC CALL OUT'S

- DEMO WALLS
- (N) EXTERIOR WALL
- (E) EXTERIOR WALL
- (N) INTERIOR WALL
- (E) INTERIOR WALL

(N) = NEW
(E) = EXISTING
F.F. = FINISHED FLOOR
G. = GRADE
PL = PLATE HEIGHT

EXISTING PLAN | SCALE: 1/4" = 1'-0" | 3

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DAVID MICHAEL DESIGNS
712 CENTER STREET, COSTA MESA, CA. 92627
PH 949.701.5535 FAX 949.650.7192
EMAIL DAVIDMICHAELDESIGNS@GMAIL.COM

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A3

DOOR SCHEDULE					
NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION	TEMPERED
D01	1	188"	96"	GARAGE-16' GARAGE ANGLE DOOR PANEL BY DMDZ	
D02	3	30"	96"	HINGED-PANEL	
D03	1	36"	80"	HINGED-RT-PANEL	
D04	1	36"	96"	EXT. HINGED-LOUVERED	
D05	1	36"	96"	EXT. HINGED- 500 FRENCH	
D06	1	156"	96"	EXT. 6+4 DR. BIFOLD-GLASS PANEL	
D07	2	72"	96"	EXT. SLIDER-GLASS PANEL	
D08	1	60"	80"	SLIDER-GLASS PANEL	
D09	1	84"	80"	SLIDER-GLASS PANEL	
D10	1	43"	96"	2 DR. BIFOLD-LOUVERED	

WINDOW SCHEDULE						
NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION	EGRESS	U-FACTOR	SHGC
W01	1	30"	42"	FIXED GLASS-CT		0.3	0.23
W02	1	36"	48"	LEFT SLIDING		0.3	0.23
W03	1	48"	15"	LEFT SLIDING		0.3	0.23
W04	1	42"	60"	FIXED GLASS-CT		0.3	0.23
W05	1	48"	60"	LEFT SLIDING		0.3	0.23

W/L

WALL LEGEND & BASIC CALL OUT'S

- DEMO WALLS
- (N) EXTERIOR WALL
- (E) EXTERIOR WALL
- (N) INTERIOR WALL
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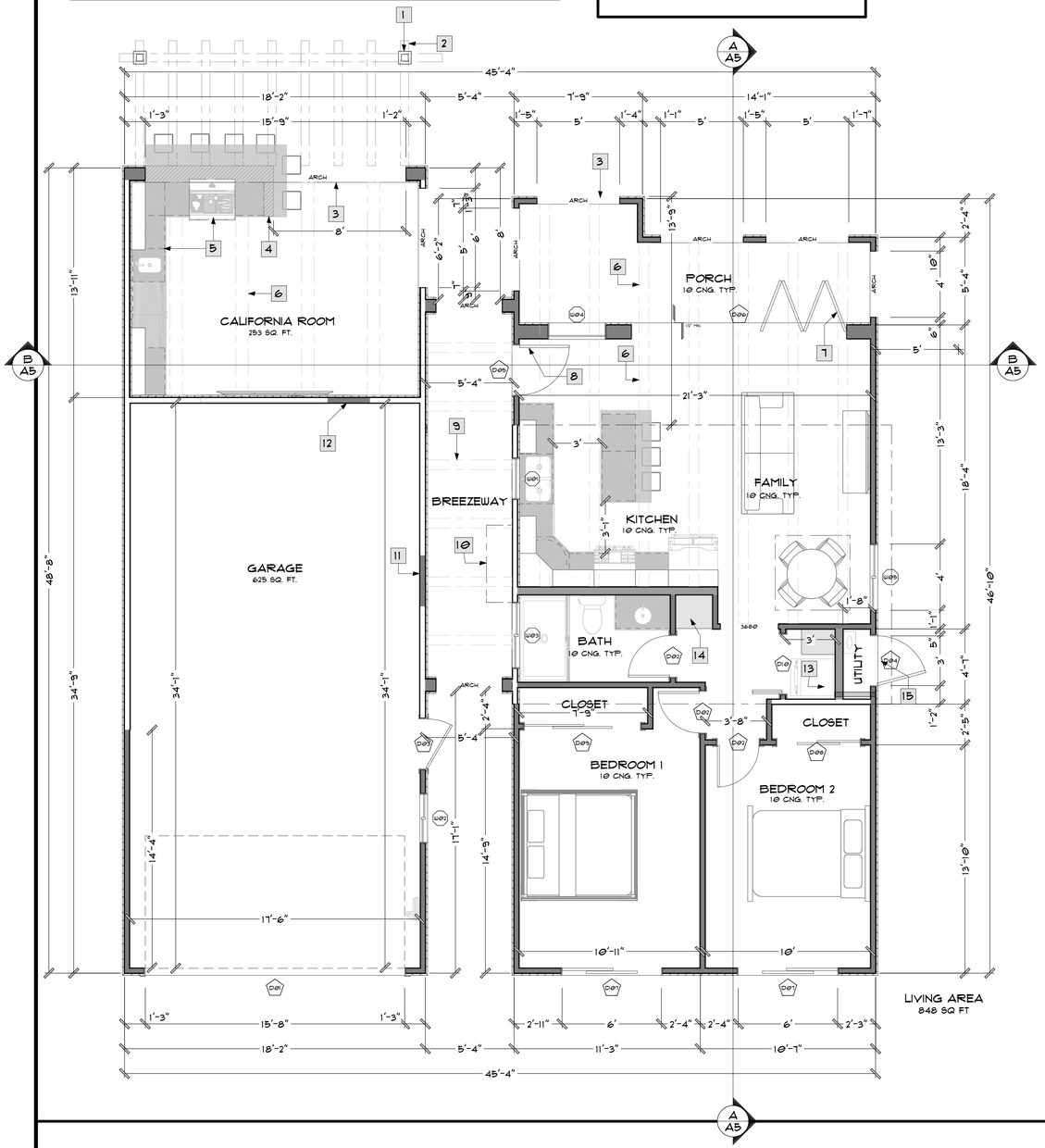
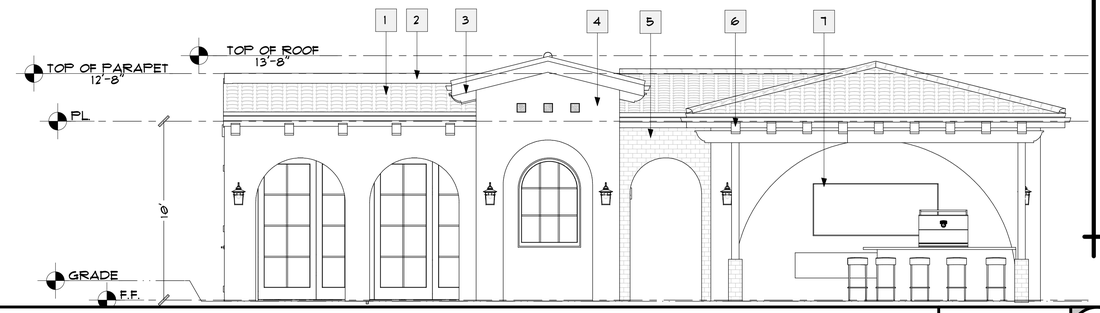
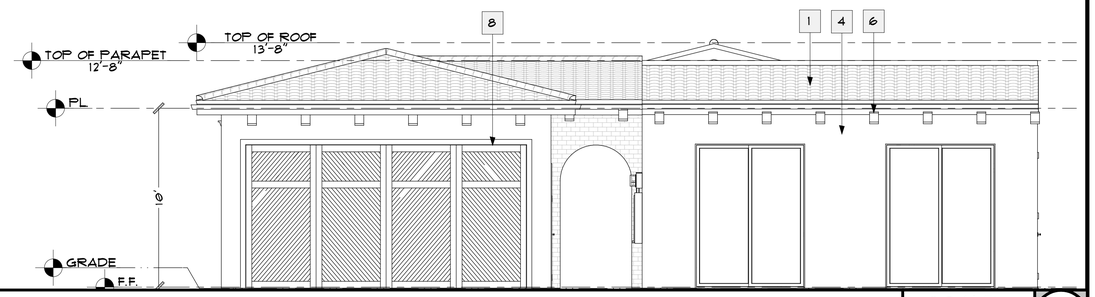
N

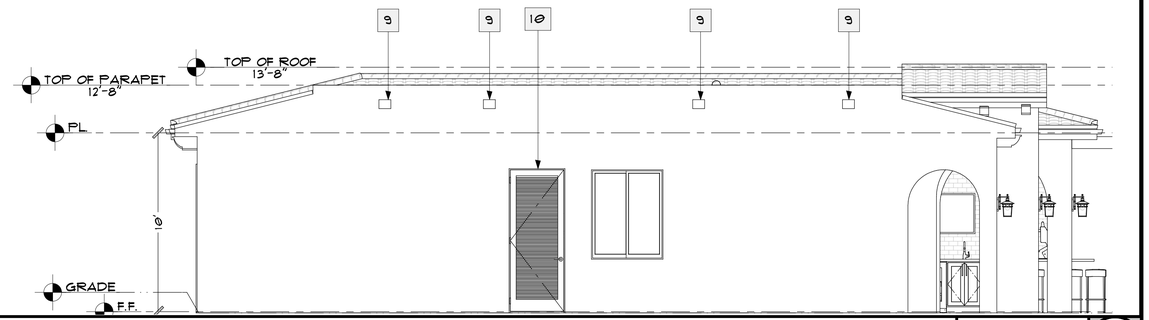




PROPOSED NORTH ELEVATION — SCALE: 1/4" = 1'-0" — N



PROPOSED SOUTH ELEVATION — SCALE: 1/4" = 1'-0" — S



PROPOSED EAST ELEVATION — SCALE: 1/4" = 1'-0" — E

PLAN NOTES:

1. STONE WRAPPED COLUMNS SUPPORT (N) TRELLIS.
2. (N) TRELLIS
3. ROUND TOP ARCHWAY.
4. HATCH LINE AREA DICTATES PONY WALL 34 1/2"H STUCCO WRAPPED.
5. BBQ AREA CUSTOM BUILT-IN CABINETS.
6. EXPOSED FALSE CEILING BEAMS
7. 14' WIDE BI-FOLDING TEMPERED GLASS DOOR.
8. FRONT DOOR.
9. EXPOSED CEILING BEAMS WITH T&G CEILING WRAPS BREEZEWAY.
10. DEMO (E) STRUCTURE
11. CLOSE IN (E) WINDOW.
12. CLOSE IN (E) DOOR.
13. WASHER DRYER STACKABLE VENTS THROUGH UTILITY ROOM.
14. FULL HEIGHT STORAGE
15. UTILITY ROOM HOLDS TANKLESS W/H & HVAC SYSTEM.

ELEVATION NOTES:

1. BARREL SPANISH STYLE LIGHT WEIGHT ROOF "S" TILES (ICC ESR-1900).
2. PARAPET ROOF LINE
3. EXPOSED ROOF RAFTERS
4. STUCCO WRAP / SMOOTH COAT / WHITE / (ICC ESR-1194)
5. STONE BRICK VENEER WRAPS THE BREEZEWAY. (ICC ESR-1215)
6. TRELLIS HANGS OFF THE FRONT OF THE OPEN BBQ AREA.
7. TV MOUNTED ON BACKWALL - RUN ALL NECESSARY HDMI AND POWER SUPPLIES.
8. (N) GARAGE DOOR.
9. SCUPPERS
10. VENTED UTILITY DOOR FOR AIRFLOW.

PROPOSED FLOOR PLAN — SCALE: 1/4" = 1'-0" — 4

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PH: 949.701.9393 FAX: 949.650.7192
EMAIL: DAVIDMICHAELDESIGNS@GMAIL.COM

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1	
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4	
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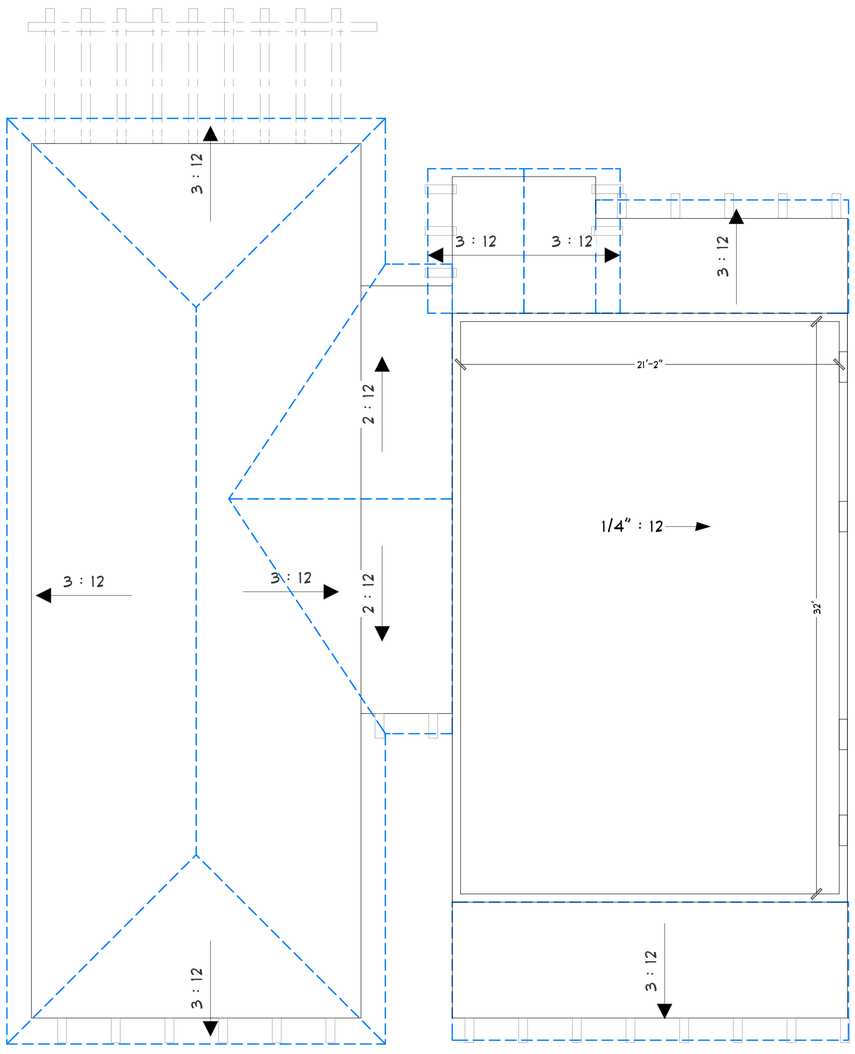
ARTIST	
DAVID MICHAEL DESIGNS	

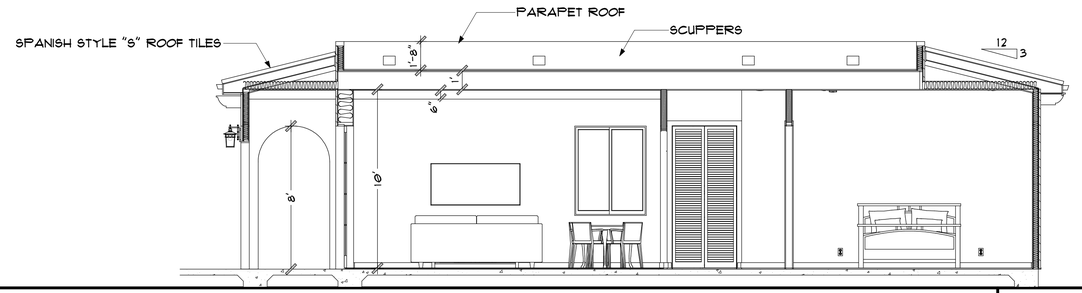
SHEET
A4

WEBSITE: WWW.DAVIDMICHAELDESIGNS.COM

ROOF PLAN

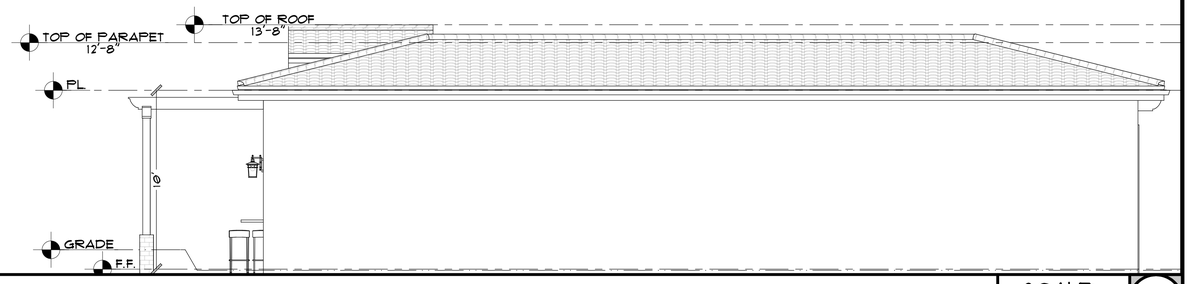
BARREL SPANISH STYLE LIGHT WEIGHT ROOF "S" TILES (ICC ESR-1900)
20" HIGH STUCCO PARAPET WALLS
SEALED WITH RUBBER MEMBRANE ROOF ICC ESR-1322





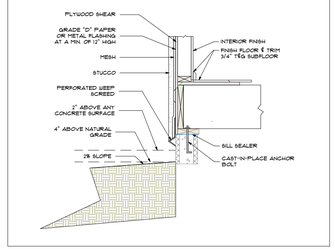
CROSS SECTION A ELEVATION — SCALE: 1/4" = 1'-0" — A

CROSS SECTION B ELEVATION — SCALE: 1/4" = 1'-0" — B



PROPOSED WEST ELEVATION — SCALE: 1/4" = 1'-0" — W

WEEP SCREED DETAIL — W



CROSS SECTION ELEVATIONS — SCALE: 1/4" = 1'-0" — 5

DAVID MICHAEL DESIGNS
712 CENTER STREET, COSTA MESA, CA. 92627
PH: 949.701.5535 FAX: 949.650.7192
EMAIL: DAVIDMICHAELDESIGNS@GMAIL.COM

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936 11TH ST, HUNTINGTON BEACH, CA 92648

5	
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DATE	4/15/2024
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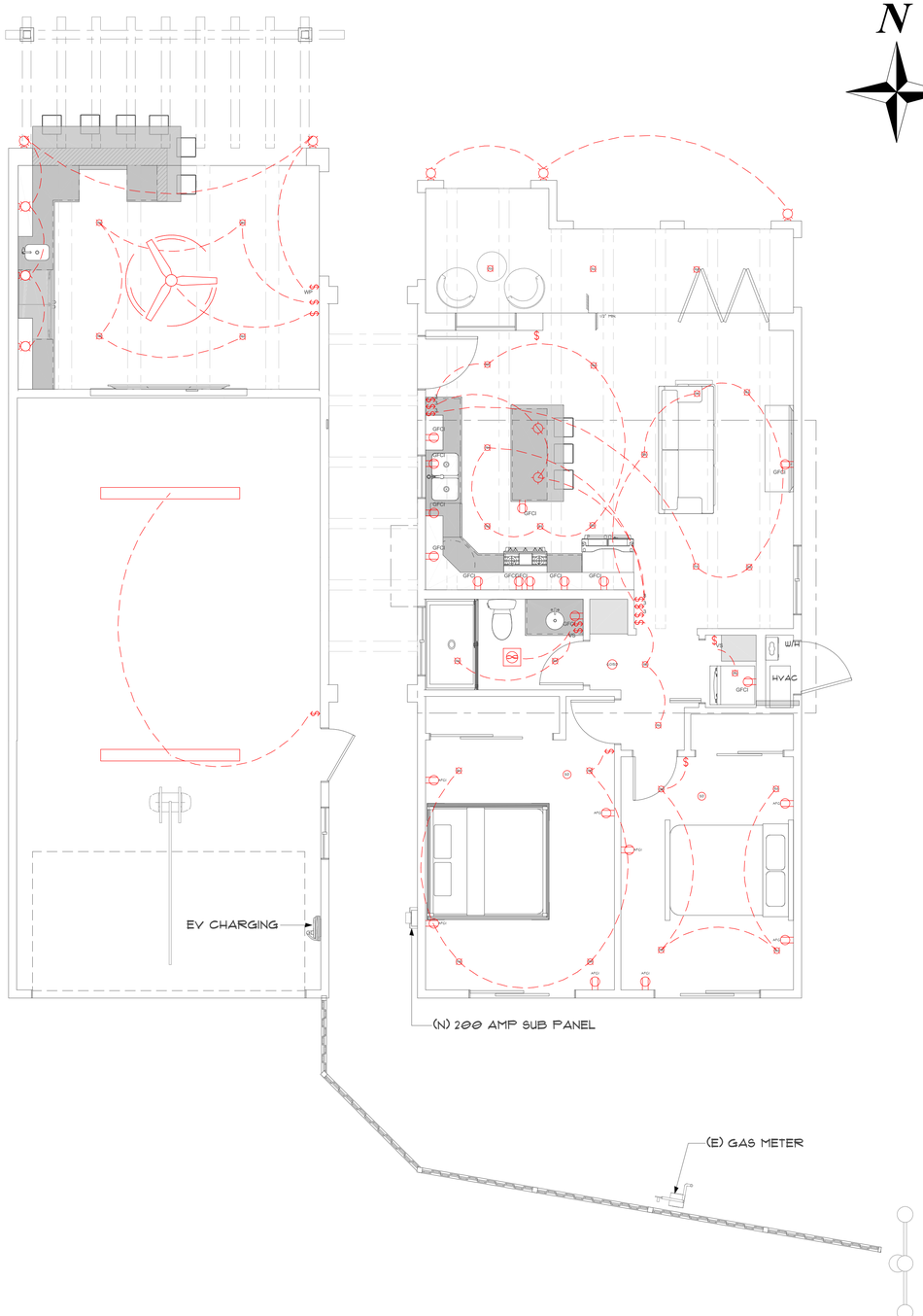
SHEET
A5



N

ELECTRICAL SCHEDULE			
2D SYMBOL	QTY	DESCRIPTION	ATTACHED TO
R4	31	4" L.E.D. CAN LIGHT	CEILING
AFCI	8	AFCI RECEPTACLE	WALL
	3	ALICE WALL SCONCE	WALL
	5	ALIGHIERI WALL SCONCE	WALL
CO/SMOKE	1	CO/SMOKE DETECTOR	CEILING
	2	CUBED PENDANT	CEILING
EF	1	EXHAUST 100 CFM	CEILING
GFCI	1	GFCI	CABINET
GFCI	12	GFCI	WALL
	1	HANGER CEILING FAN	CEILING
SD	2	SMOKE DETECTOR 1	CEILING
$	8	SWITCH (DECORATOR)	WALL
$3	6	THREE WAY	WALL
$VS	2	VACANCY SENSOR	WALL
$WP	1	WEATHERPROOF	WALL
	2	LED BAR PANELS	CEILING

PLUMBING NOTES:

ALL NON-COMPLIANT PLUMBING FIXTURES WILL BE REQUIRED TO BE UPGRADED WITH WATER-CONSERVING PLUMBING FIXTURES THROUGHOUT THE SINGLE-FAMILY RESIDENTIAL BUILDING. (CIVIL CODE SECTION 1101.4(A))

ALL PLUMBING FIXTURES SHALL BE COMPLYING WITH THE MAX. FLOW RATES AS NOTED IN THE RESIDENTIAL CONSTRUCTION MIN. REQUIREMENTS

ELECTRICAL NOTES

SMOKE AND CARBON MONOXIDE ALARM NOTES

THE STATE OF CALIFORNIA REQUIRES THAT SMOKE AND CARBON MONOXIDE ALARMS MUST BE INSTALLED IN ALL RESIDENTIAL BUILDINGS. CALIFORNIA RESIDENTIAL CODE (CRC) SECTION R314.1 AND R315.2 STATES IN PART THAT EXISTING DWELLINGS BE "RETROFITTED" WITH SMOKE ALARMS AND CARBON MONOXIDE ALARMS. CRC SECTION R314.3, CRC R315.3 DEFINES REQUIRED LOCATIONS.

-CARBON MONOXIDE ALARM: INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS AND EACH LEVEL OF THE DWELLING.

-SMOKE ALARMS: INSTALLED IN EACH ROOM USED FOR SLEEPING PURPOSES, IN EACH HALLWAY OUTSIDE OF THE SLEEPING ROOMS, AND ON EACH LEVEL OF THE DWELLING UNIT. RETROFITTED DETECTORS MAY BE BATTERY OPERATED FOR BUILDINGS WHERE NO ALTERATIONS ARE PERFORMED ON THE INTERIOR. MULTIPLE PURPOSES ALARMS (CARBON MONOXIDE AND SMOKE ALARMS) SHALL COMPLY WITH ALL APPLICABLE STANDARD AND MUST BE APPROVED BY THE STATE FIRE MARSHALL THE DEVICES MUST BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS.
HIGH EFFICACY LUMINARIES

BATHROOMS, GARAGE, LAUNDRY ROOMS SHALL BE HIGH EFFICACY LUMINARIES, OR CONTROLLED BY AN OCCUPANT SENSOR.

ALL POWER AND LIGHTING OUTLETS IN FAMILY ROOMS, PARLOR, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, HALLWAY AND SIMILAR AREAS ARE TO BE PROTECTED BY A "LISTED AFCI BREAKER". KITCHENS, BATHROOMS, AND BASEMENTS ARE EXEMPT FROM THIS REQUIREMENT.

INDOOR AIR QUALITY AND EXHAUST - CGBSC 4.506

THE STATE OF CALIFORNIA REQUIRES THAT SMOKE AND CARBON MONOXIDE ALARMS

1. FOR BATHROOMS CONTAINING A BATHTUB, SHOWER, OR TUB SHOWER COMBINATION, A MECHANICAL EXHAUST FAN WHICH EXHAUST DIRECTLY FROM THE BATHROOM MUST BE INSTALLED.
2. FANS MUST BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
3. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
3.1 HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.

SMOKE DETECTORS: PROVIDE SMOKE DETECTORS ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS; IN EACH ROOM USED FOR SLEEPING PURPOSES; IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS; IN DWELLINGS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, PLACE ONE ABOVE THE TOP OF THE STAIRS LEADING TO UPPER LEVEL SLEEPING AREAS.

PROVIDE SMOKE DETECTORS WITH POWER FROM THE HOUSE WIRING IN ALL NEW CONSTRUCTION. USE BATTERY TYPE ELSEWHERE. DETECTORS ARE REQUIRED TO BE INSTALLED THROUGHOUT THE HOUSE RECEPTACLES FOR COUNTERTOP SPACES RECEPTACLES REQUIRED FOR COUNTERTOP SPACES > OR = 12" WIDE. COUNTERTOP SPACES SEPARATED BY SINKS OR RANGES ARE CONSIDERED SEPARATED COUNTERTOP SPACES. THE REQUIRED SPACING SHOULD BE SO NO POINT IS 24" FROM RECEPTACLE. THE AREA BEHIND THE SINK OR RANGE IS CONSIDERED COUNTERTOP SPACE IF IS EQUAL OR LARGER THAN 12" TO WALL OR 18" TO CORNER. MAX 20" ABOVE COUNTERTOP. PENINSULAR REQUIRE RECEPTACLE IF LONG DIMENSION IS LARGER THAN 24" AND THE SHORT DIMENSION LARGER THAN 12" MEASURED FROM CONNECTING EDGE. ISLAND AND PENINSULA COUNTERTOP SPACES REQUIRE A MIN OF 1
RECEPTACLE PER SPACE (NO 24" RULE) GFCI RECEPTACLE PROTECTION FOR ALL RECEPTACLE SERVING COUNTERTOPS.

SEE A2 FOR MORE ELECTRICAL AND PLUMBING NOTES

DAVID MICHAEL DESIGNS
712 CENTER STREET, COSTA MESA, CA. 92627
PH: 949.701.1533 FAX: 949.650.2132
EMAIL: DAVIDMICHAELDESIGNS@GMAIL.COM

REVISIONS
1
2

HOME OWNER:
AARON AND ELIZABETH DAY
936 11TH ST, HUNTINGTON BEACH, CA 92648

6	
TITLE	ELECTRICAL
DATE	4/15/2024
SCALE	1/4" = 1'-0"
ARTIST	
DAVID MICHAEL DESIGNS	

SHEET
A6

ELECTRICAL AND PLUMBING PLAN

SCALE: 1/4" = 1'-0"

6

THE PAPER SIZE NEEDS TO BE 24" X 36" TO SCALE PROPERLY

WEBSITE: WWW.DAVIDMICHAELDESIGNS.COM

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

Y	N/A	RESPON. PARTY

CHAPTER 3
GREEN BUILDING
SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.

Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

Exceptions:
1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.
2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the *California Building Code*, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.

DIVISION 4.1 PLANNING AND DESIGN

ABBREVIATION DEFINITIONS:

HCD	Department of Housing and Community Development
BSC	California Building Standards Commission
DSA-SS	Division of the State Architect, Structural Safety
OSHPD	Office of Statewide Health Planning and Development
LR	Low Rise
HR	High Rise
AA	Additions and Alterations
N	New

CHAPTER 4
RESIDENTIAL MANDATORY MEASURES

SECTION 4.102 DEFINITIONS

4.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.
2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
3. Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

1. Swales
2. Water collection and disposal systems
3. French drains
4. Water retention gardens
5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the *California Electrical Code*, Article 625.

Exceptions:
1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:
   1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power.
   1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.
2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the *California Electrical Code*.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities.
When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.

4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exceptions:

1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.

2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.

Notes:

a.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.

b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

Notes:

a.Construction documents shall show locations of future EV spaces.

b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.

When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS).
Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.

Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.

4.106.4.2.2.1.1 Location.
EVCS shall comply with at least one of the following options:

1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.

2.The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions.
The charging spaces shall be designed to comply with the following:

1.The minimum length of each EV space shall be 18 feet (5486 mm).

2.The minimum width of each EV space shall be 9 feet (2743 mm).

3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).

a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.2.1.3 Accessible EV spaces.
In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.

4.106.4.2.3 EV space requirements.
1.Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.

4.106.4.2.4 Identification.
The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.2.5 Electric Vehicle Ready Space Signage.
Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings.
When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

Notes:

1.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.

2.There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL

4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.1.4.5 Pre-rinse spray valves.
When installed, shall meet the requirements in the *California Code of Regulations*, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the *California Code of Regulations*, Title 20 (Appliance Efficiency Regulations),Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).

TABLE H-2

STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALVES MANUFACTURED ON OR AFTER JANUARY 28, 2019

PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)
Product Class 1 (≤ 5.0 ozf)	1.00
Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)	1.20
Product Class 3 (> 8.0 ozf)	1.28

Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)]

4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings.
Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the *California Plumbing Code*.

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table 1701.1 of the *California Plumbing Code*.

NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the *California Code Regulations*, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:

1. Excavated soil and land-clearing debris.
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste material collected will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4..

Notes:

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
   a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
   b. Roof and yard drainage, including gutters and downspouts.
   c. Space conditioning systems, including condensers and air filters.
   d. Landscape irrigation systems.
   e. Water reuse systems.
3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4. Public transportation and/or carpool options available in the area.
5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
9. Information about state solar energy and incentive programs available.
10. A copy of all special inspections verifications required by the enforcing agency or this code.
11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.
12. Information and/or drawings identifying the location of grab bar reinforcements.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL

4.501.1 Scope
The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS

5.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

DAVID MICHAEL DESIGNS
712 CENTER STREET, COSTA MESA, CA. 92627
PH# 949.701.5535 FAX# 949.650.7192
EMAIL DAVIDMICHAELDESIGN@GMAIL.COM

REVISIONS
1
2

HOME OWNER:
AARON AND ELIZABETH DAY
936 11TH ST, HUNTINGTON BEACH, CA 92648

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TITLE	
DATE	4/15/2024
SCALE	

ARTIST
DAVID MICHAEL DESIGNS

SHEET
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CAL. GREEN NOTES P1.
SCALE: 1/4" = 1'-0"
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THE PAPER SIZE NEEDS TO BE 24" X 36" TO SCALE PROPERLY

WEBSITE: WWW.DAVIDMICHAELDESIGNS.COM

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O^3/g ROC).
Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).
Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES
4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of *California Code of Regulations*, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT[1,2]
(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.
2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT
(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS[2,3]
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS[1]	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS
2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.
3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS[1]
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD[2]	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)
4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed , at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL
4.505.1 General. Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter.Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST
4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
   a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
   b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code*.

4.507 ENVIRONMENTAL COMFORT
4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS
702 QUALIFICATIONS
702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs.
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

Notes:

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS
703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

DAVID MICHAEL DESIGNS
112 CENTER STREET COSTA MESA, CA. 92627
PH# 949.701.5535 FAX# 949.650.0192
EMAIL DAVIDMICHAELDESIGNS@GMAIL.COM

REVISIONS
1
2

HOME OWNER:
AARON AND ELIZABETH DAY
936 11TH ST, HUNTINGTON BEACH, CA 92648

8
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