

XXXXXX

SITE PLAN

SCALE: 1/8" = 1'-0" 1

OWNER:
VICTOR MAGANA
4821 N BELFLOWER BLVD,
LONG BEACH, CA 90808

DRAFTER:
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BUILDER:
XXX

SHEET INDEX:
A1 TITLE & SITE PLAN
A2 GENERAL NOTES
A3 CAL GREEN NOTES
A4 EXISTING PLAN
A5 PROPOSED PLAN
A6 ELEVATIONS
A7 CROSS SECTIONS
A8 ELECTRICAL PLAN
A9 ROOF PLAN
A10 CAL GREEN NOTES P1
A11 CAL GREEN NOTES P2

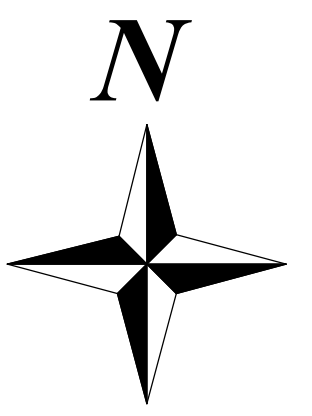
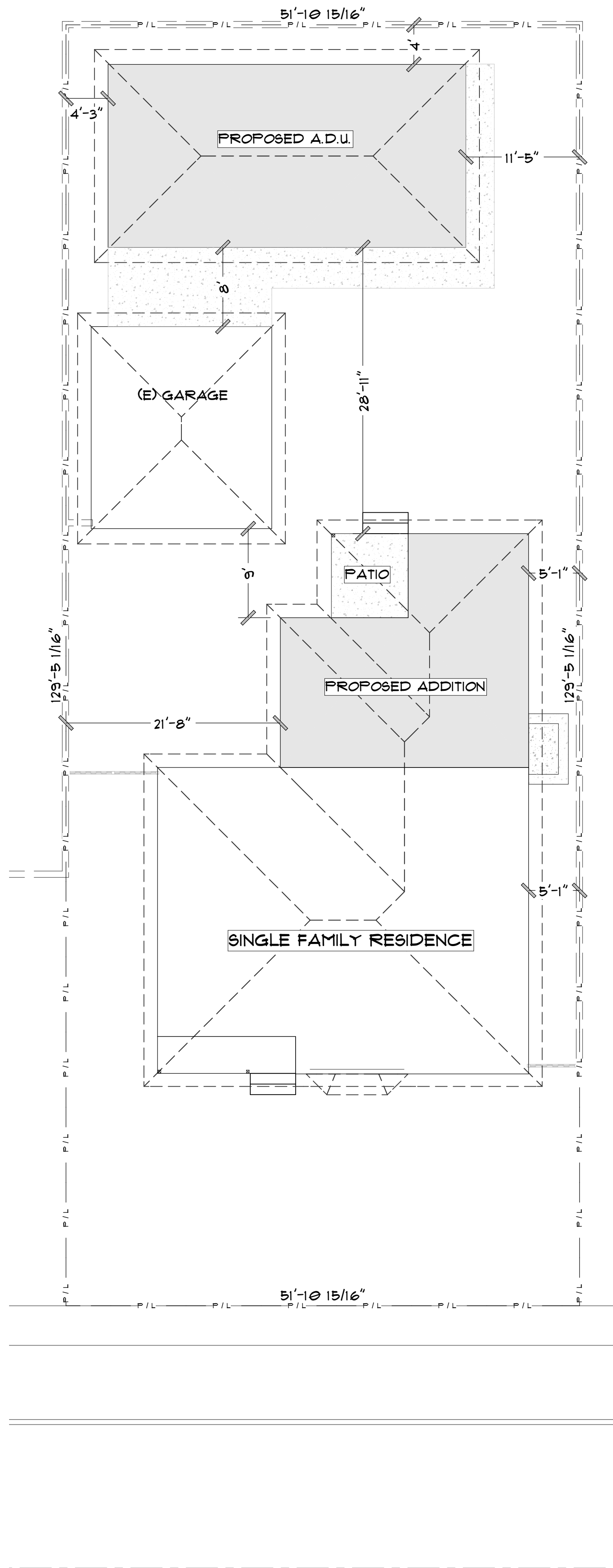
PROJECT DATA
OCCUPANCY: R3-U
APN: 7180-015-021
CONSTRUCTION TYPE V-B
TRACT NO 16214 LOT 345
SQUARE FOOTAGES:
(E) 1ST FLOOR = SQ. FT.
(E) GARAGE = SQ. FT.
(N) 1ST FLOOR = SQ. FT.
(N) BALCONY = SQ. FT.
(T) LIVING AREA = SQ. FT.
(T) GARAGE = SQ. FT.
(T) STRUCTURE = SQ. FT.
LOT SIZE: SQ. FT
(N) STRUCTURE = % LOT COVERAGE

SCOPE OF WORKS

1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF CBC 2022
A. 2022 CALIFORNIA RESIDENTIAL CODE
B. 2022 CALIFORNIA BUILDING CODE
C. 2022 CALIFORNIA GREEN BUILDING CODE
D. 2022 CALIFORNIA ELECTRICAL CODE
E. 2022 CALIFORNIA MECHANICAL CODE
F. 2022 CALIFORNIA PLUMBING CODE
G. 2022 CALIFORNIA FIRE CODE
H. 2022 CALIFORNIA ENERGY CODE
2. BEFORE ANY WORK HAS BEGUN, THE CONTRACTOR SHALL MAKE A THOROUGH INSPECTION OF THE BUILDING AND SITE TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS NOTING EXISTING WORK TO REMAIN AND NOTIFYING THE OWNER AND DRAFTER IN WRITING OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENTS.
3. ANY OMISSIONS, CONFLICTS, OR DISCREPANCIES BETWEEN THE VARIOUS ELEMENTS OF THE CONSTRUCTION DOCUMENTS AND OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND DRAFTER. ALL WORK IS TO BE COORDINATED SO THAT COOPERATION BETWEEN THE TRADES WHERE REQUIRED IS ACCOMPLISHED.
4. VERIFY ALL OPENINGS THROUGHOUT CONSTRUCTION WITH ALL PARTICIPANTS TRADES SUCH AS HEATING, PLUMBING, ELECTRICAL TRADES FOR SIZE AND LOCATION. NOTIFY OWNER AND DRAFTER IN WRITING OF ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS.
5. FOLLOW DIMENSIONS EXPLICITLY, DO NOT SCALE DRAWINGS. CONFIRM WITH DRAFTER BEFORE PROCEEDING IF CONFLICT ARISE.
6. POOL, SPAS, WALLS, FENCES, PATIO COVERS, AND OTHER FREE STANDING STRUCTURES REQUIRE SEPARATE PERMIT AND REVIEW.
7. CONTRACTOR WITH HIS SELECTED H.V.A.C. SUBCONTRACTOR TO ASSESS EXISTING H.V.A.C. SYSTEMS TO DETERMINE FUNCTIONALITY & CODE COMPLIANCE. MAKE RECOMMENDATIONS TO OWNER AS TO PROPOSED MODIFICATIONS & COST. ADVISE OWNER AND DRAFTER IF FRAMING MODIFICATIONS ARE NECESSARY.
8. VERIFY & COORDINATE EXTERIOR HARDSCAPE, LANDSCAPE & IRRIGATION SYSTEMS WITH OWNER AND LANDSCAPE DRAFTER/ARCHITECT.

VICINITY MAP

GENERAL NOTES



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REVISIONS
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2

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HOME OWNER:
VICTOR MAGANA
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LONG BEACH, CA 90808

1	TITLE
DATE	2/11/2025
SCALE	1/8" = 1'-0"
ARTIST DAVID MICHAEL DESIGNS	

SHEET
A1

RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS

PLUMBING NOTES BATHROOM

PROVIDE TEMPERED GLASS AT TUB/SHOWER DOORS AND AT WINDOWS LESS THAN 60" FROM TUB/SHOWER DRAIN. SHOWER AND TUB/SHOWER CONTROL VALVES SHALL BE PRESSURE BALANCING SET AT A MAXIMUM 120 DEGREES F. THE WATER-FILLER VALVE IN BATHTUB/WHIRLPOOLS SHALL HAVE A TEMPERATURE LIMITING DEVICE SET A MAXIMUM OF 120 DEGREES F. THE WATER HEATER THERMOSTAT CANNOT BE USED TO MEET THESE PROVISIONS. [CFC 408.3, 409.4]

- SITE BUILT SHOWER STALLS SHALL COMPLY WITH CFC 408.1.
- STALL SHOWER DOOR TO PROVIDE A MIN. OF 22" WIDE UNOBSTRUCTED OPENING. [CFC 408.5]
- TOILET AND/OR BIDET REQUIRE A TOTAL MINIMUM 30" CLEAR SPACE, 15" FROM THE CENTER OF THE FIXTURE TO THE WALL, AND A MINIMUM OF 24" CLEAR SPACE IN FRONT OF THE FIXTURE. [CFC 402.5]
- WHEN ADDITIONAL WATER CLOSETS (TOILETS) ARE INSTALLED, A MAXIMUM OF 3 WATER CLOSETS ARE ALLOWED ON A 3" WASTE LINE. [TABLE 103.2, NOTE 4]
- THE HOT WATER VALVE SHALL BE INSTALLED ON THE LEFT SIDE. [CFC 417.5]
- A MINIMUM 12" X 12" ACCESS PANEL IS REQUIRED WHEN A SLIP JOINT P-TRAP WASTE & OVERFLOW IS PROVIDED.
- WHERE PLUMBING FEATURES (WATER CLOSETS, TUBS, ETC.) COMES INTO CONTACT WITH THE WALL OR FLOOR, THE JOINT SHALL BE CAULKED AND SEALED TO BE WATERTIGHT. [CFC 402.2]

PLUMBING NOTES KITCHEN

- A GAS TEST IS REQUIRED ON PIPING MODIFICATIONS (10 PSI FOR 15 MINUTES). A MAXIMUM 15 PSI GAUGE IS REQUIRED FOR THE GAS TEST. A LOWER GAS PRESSURE TEST MAY BE PERFORMED WHEN USING A RECORDING TEST GAUGE PER SECTION 1213.3 OF THE CFC.
- GAS LINES THAT RUN UNDER A SLAB SHALL RUN THROUGH AN APPROVED, VENTED, GAS TIGHT CONDUIT. GAS LINE SHALL BE ENCASED IN AN APPROVED CONDUIT DESIGNED TO WITHSTAND THE IMPOSED LOADS AND INSTALLED IN ACCORDANCE WITH SECT. 1210.1.6.1 OR 1210.1.6.2. OR ENCASEMENT SYSTEM THAT IS LISTED FOR INSTALLATION BENEATH BUILDING.
- AN ACCESSIBLE SHUTOFF VALVE SHALL BE INSTALLED OUTSIDE EACH APPLIANCE AND AHEAD OF THE UNION CONNECTED THERETO AND IN ADDITION TO ANY VALVE ON THE APPLIANCE [CFC 1210.11]
- PROVIDE MAXIMUM 6'-FT- LONG LISTED GAS FLEXIBLE CONNECTOR AND SHUT OFF TO FREESTANDING RANGE.
- A LISTED AIR GAP IS REQUIRED FOR THE DISHWASHER DRAIN. [CFC 807.3]
- THE MAXIMUM FLOW RATE STANDARDS FOR THE SINK FAUCETS ARE 1.8 GPM AT 60PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GPM AT 60PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GPM. [CFC 407.1.1]

ELECTRICAL NOTES KITCHEN

- ALL KITCHEN COUNTERTOP OUTLETS SHALL BE GFCI PROTECTED. [CEC 210.8(A)(6)]
- RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
- 12" OR WIDER COUNTERTOPS REQUIRE AN OUTLET. [CEC 210.52(C)(1)]
- OUTLETS ARE REQUIRED WITHIN 24" OF ANY LOCATION ALONG THE COUNTERTOP. [CEC 210.52(C)(1)]
- KITCHEN OUTLETS POSITIONED A MAXIMUM 20" ABOVE COUNTERTOP. [CEC 210.52(C)(5)]
- APPLIANCE GARAGE OUTLETS ARE NOT COUNTED AS A REQUIRED COUNTERTOP OUTLET. [CEC 210.52(C)(5)]
- APPLIANCES AND SINKS BREAK UP THE COUNTERTOP RUN, REQUIREMENT EACH SIDE TO COMPLY INDIVIDUALLY.
- [CEC 210.52 (C)(4)]
- THE ELECTRICAL OUTLET REQUIREMENTS INCLUDE ISLANDS, PENINSULAS, KITCHEN DESKTOPS, WET BARS, AND SERVING BARS. A LARGE WINDOW ACROSS THE BACK OF A SINK OR LACK OF A BACKSPASH DOES NOT EXEMPT THE COUNTERTOP FROM THE OUTLET REQUIREMENTS. THESE OUTLETS MAY BE IN A DROP FRONT CABINET FACE, UNDER CABINET PLUG STRIP, POP UP OR TOMBSTONE- TYPE RECEPTACLE. [CEC 210.52(C)(2),(3),(4)]
- TWO SMALL APPLIANCE OUTLET CIRCUITS, 20 AMPS EACH, ARE REQUIRED FOR KITCHENS. CIRCUITS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS. [CEC 210.52(B)(1),(2)]
- INDIVIDUAL DEDICATED CIRCUITS ARE REQUIRED FOR ALL MAJOR APPLIANCES. THE RATING OF AN INDIVIDUAL BRANCH CIRCUIT SHALL NOT BE LESS THAN THE MARKED RATING OF THE APPLIANCE OR THE MARKED RATING OF AN APPLIANCE HAVING COMBINED LOADS AS PROVIDED IN 422.62. [210.11 (C) & 422.10 (A)]
- GARBAGE DISPOSAL CORD AND PLUG CONNECTED 18" TO 36" LONG. [CEC 422.16(B)(1)]
- DISHWASHER CORD 36" TO 48" LONG. ROMEX INSTALLED WITH A PLUG IS NOT AN APPROVED FLEXIBLE CORD. [CEC 422.16(B)(2)]
- MINIMUM 15 AMP CIRCUIT FOR THE DISHWASHER AND A 15 AMP CIRCUIT FOR THE DISPOSAL [CEC 210.23(A)]
- IF USING A SPLIT OUTLET (TWO CIRCUITS ON THE SAME YOKE) FOR DISHWASHER/DISPOSAL, PROVIDE A LISTED HANDLE TIE AT THE TWO CIRCUIT BREAKERS AT THE PANEL [CEC 210.7]
- RESIDENTIAL KITCHEN LIGHTING IS REQUIRED TO MEET THE ENERGY EFFICIENCY STANDARDS. [CENC 150(K)(3)]
- IC (DIRECT CONTACT) AND AT (AIR TIGHT) RATED CANS ARE REQUIRED FOR RECESSED LIGHTING IF INSTALLED IN AN INSULATED CEILING. FOR OCCUPANCIES WITH A HORIZONTAL (FLOOR/CEILING ASSEMBLY) RATED SEPARATION, THE RECESSED FIXTURES SHALL BE PROTECTED TO THE RATING OF THE SEPARATION (1 HOUR) OR BE LISTED FOR THE REQUIRED PROTECTION. THIS GENERALLY APPLIES TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS. [CEC 150(K)(8)]
- FLUORESCENT RECESSED LIGHTING, WHEN USED TO COMPLY WITH THE LIGHTING REQUIREMENTS, MUST BE OF A PIN BASE TYPE DESIGN. INCANDESCENT SCREW TYPE BASE IS NOT APPROVED.
- INCANDESCENT AND FLUORESCENT LIGHTING MUST BE ON SEPARATE SWITCHES. [CEC 150(K)(2)]
- AFCI PROTECTION IS REQUIRED TO KITCHEN BY ANY OF THE MEANS DESCRIBED IN 210.12(A)(1) - THROUGH (6). [CEC 210.12 (A)].
- GFI PROTECTION FOR LAUNDRY AREA. [CEC 210.8 (A)(9)]
- GFI PROTECTION FOR DISHWASHER. [CEC 210.8(D)].

ELECTRICAL NOTES BATHROOMS

- PROVIDE A 20 AMP GFCI PROTECTED ELECTRICAL OUTLET WITHIN 36" OF THE OUTSIDE EDGE OF EACH BATHROOM SINK BASIN. OUTLET SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN OR INSTALLED ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12" BELOW THE COUNTERTOP. [CEC 210.52(D)]
- RECEPTACLES SHALL BE LISTED AS TAMPER-RESISTANT.
- A MINIMUM OF ONE (1) 20-AMP CIRCUIT IS REQUIRED FOR BATHROOMS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. THIS CIRCUIT MAY SERVE MORE THAN ONE BATHROOM. [CEC 210.52(D)]
- NO PENDANT LIGHT FIXTURES IN ZONE, 3 FT. AWAY AND 8 FT. ABOVE THE BATHTUB OR SHOWER. [CEC 410.10(D)]
- LUMINARIES LOCATED WITHIN THE ACTUAL OUTSIDE DIMENSIONS OF THE TUB, SHOWER, AND CEILING SUSPENDED PADDLE FANS, UP TO 8 FEET VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER THRESHOLD, SHALL BE MARKED AS SUITABLE FOR DAMP LOCATIONS, PROVIDED WITH A SOLID LENS AND BE GFCI PROTECTED. [CEC 410.10(D)]
- BATHROOM LIGHTING SHALL BE HIGH EFFICACY LUMINARIES IN ACCORDANCE WITH TABLE 150.0-A AND HAVE AT LEAST ONE LUMINAIRE IN EACH SPACE CONTROLLED BY A VACANCY SENSOR 150.0(K)(2).
- RECESSED LUMINARIES INSTALLED IN AN INSULATED CEILING SHALL BE IC RATED (ZERO CLEARANCE) AND AT RATED (AIR TIGHT) AND SHALL BE SEALED AND/OR GASKET BETWEEN CEILING AND HOUSING. FOR OCCUPANCIES WITH A HORIZONTAL (FLOOR/CEILING ASSEMBLY) RATED SEPARATION, THE RECESSED FIXTURES SHALL BE PROTECTED TO THE RATING OF THE SEPARATION (1 HOUR) OR BE LISTED FOR THE REQUIRED PROTECTION. THIS GENERALLY APPLIED TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS.
- HYDRO-MASSAGE TUBS (I.E. JACUZZI TUBS) SHALL HAVE ACCESS TO THE MOTOR, BE SUPPLIED BY A GFCI PROTECTED DEDICATED CIRCUIT, AND LISTED BY A RECOGNIZED TESTING AGENCY. ALL PIPING, FITTING, METAL CABLES OR OTHER METAL SURFACES, WITHIN 5 FEET OF THE INSIDE WALL OF THE HYDROMASSAGE TUB SHALL BE PROPERLY BONDED. HYDRO-MASSAGE TUBS SHALL BE BONDED WITH A MINIMUM #8 AWG BARE COPPER WIRE AND THE BONDING SHALL BE ACCESSIBLE. [CEC 600.60] ALL RECESSED DOWNLIGHT LUMINARIES SHALL BE IN ACCORDANCE WITH REFERENCE JOINT APPENDIX JA8 AND BE MARKED AS MEETING JA8.

MECHANICAL NOTES BATHROOMS

- A BATH EXHAUST FAN W/BACK DRAFT DAMPER IS REQUIRED REGARDLESS OF THE PRESENCE OF A WINDOW. EXHAUST MUST VENT TO OUTDOORS IN AN APPROVED DUCT. TERMINATE THE OUTLET A MINIMUM OF 3 FT FROM AN OPENING OR PROPERTY LINE. [CMC 502.2.1] A MINIMUM RATE OF 50 CFM IS REQUIRED. FAN SHALL MEET ASHRA STANDARD 62.2. A MAXIMUM OF 3 SONE RATING IS REQUIRED.



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REVISIONS

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HOME OWNER:
VICTOR MAGANA
4821 N BELFLOWER BLVD,
LONG BEACH, CA 90808

2	
TITLE	
DATE	2/11/2025
SCALE	

ARTIST
DAVID MICHAEL
DESIGNS



SHEET

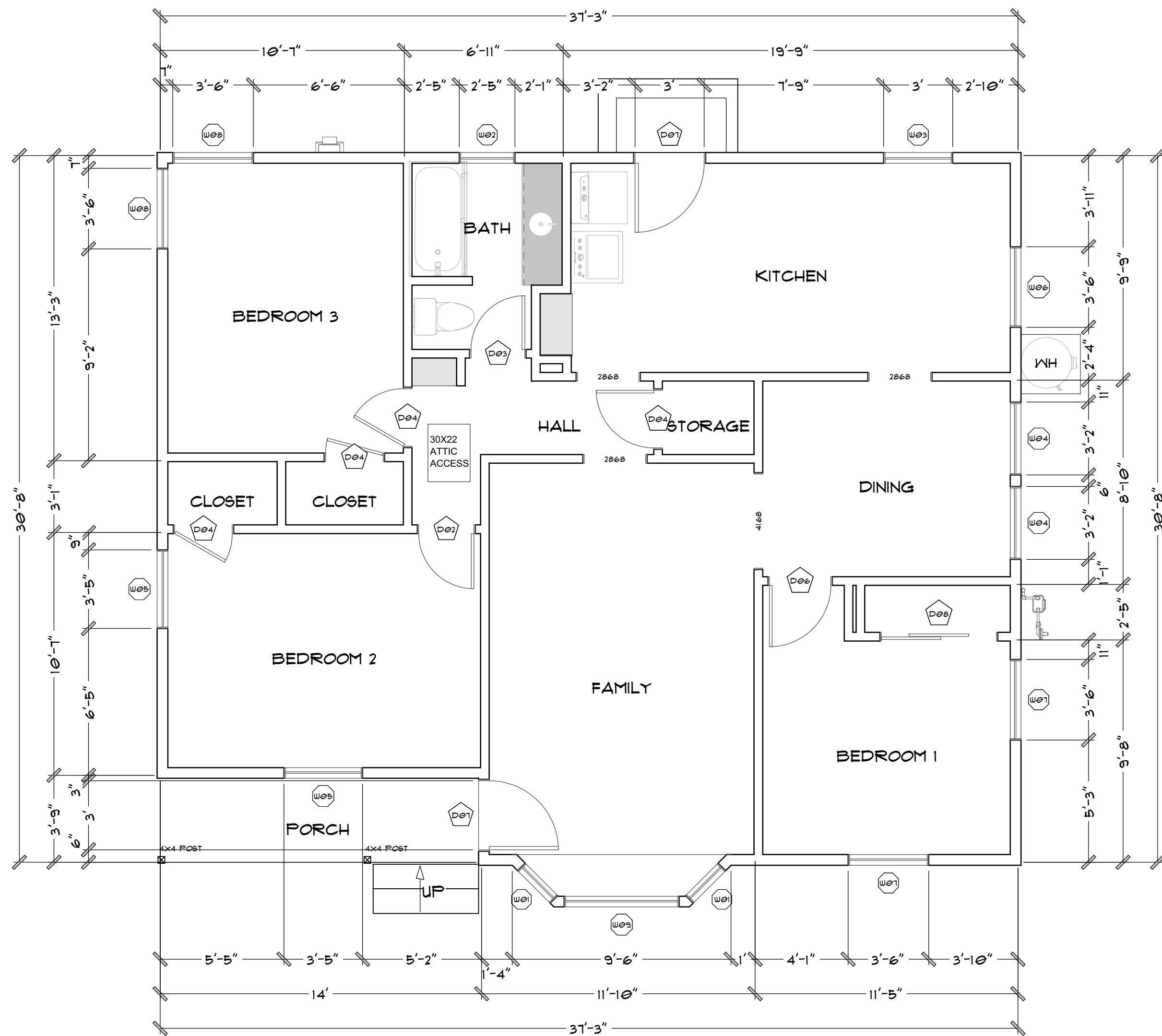
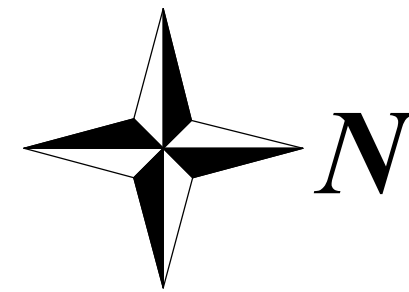
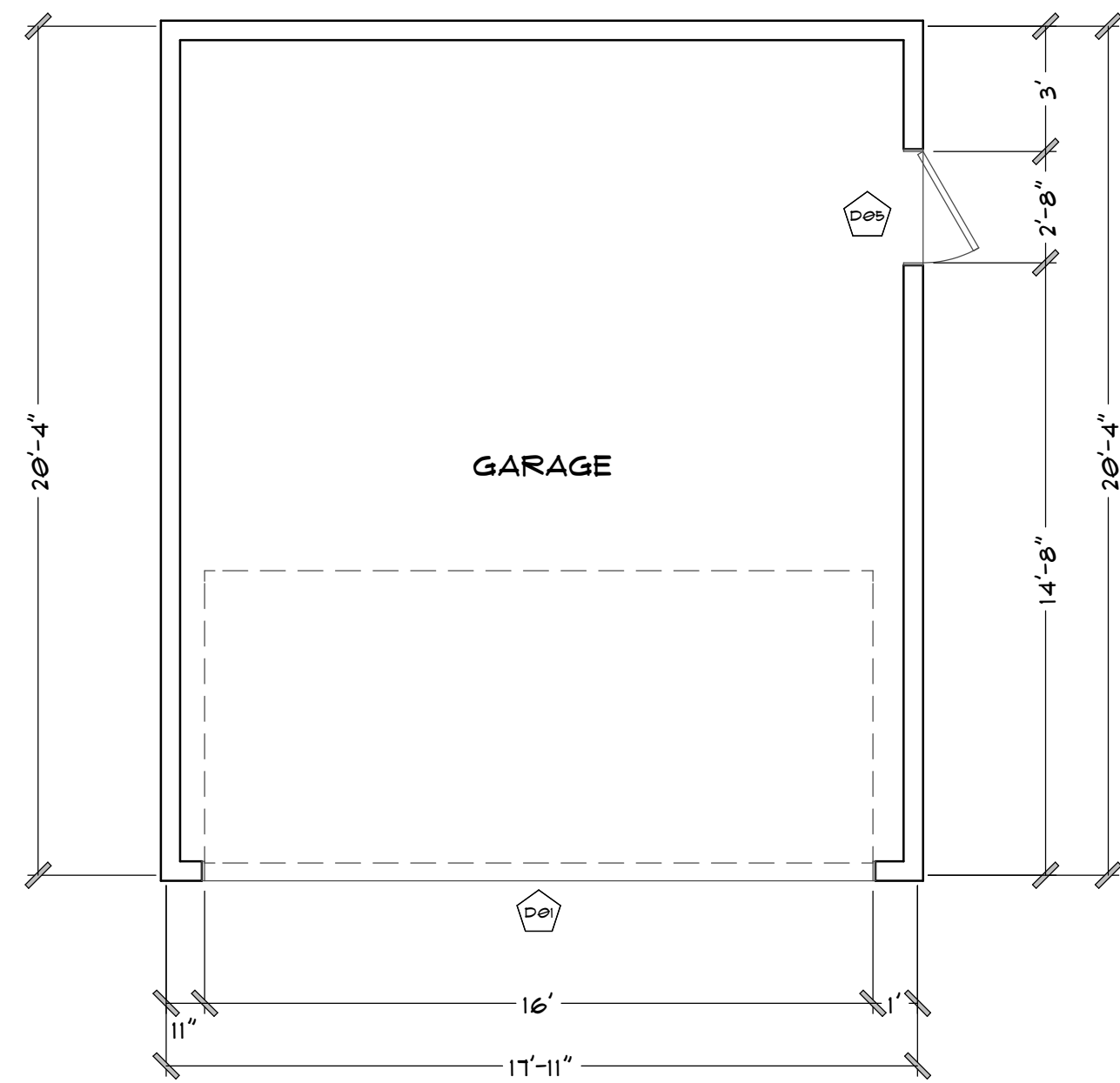
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GENERAL NOTES

(E) WINDOWS AND DOORS

DOOR SCHEDULE						
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	DESCRIPTION	TEMPERED
D01	1		152"	84"	GARAGE-GARAGE DOOR F03	
D02	1		28 3/4"	80"	HINGED-PANEL	
D03	1		28"	80"	HINGED-PANEL	
D04	4		30"	80"	HINGED-PANEL	
D05	1		32"	80"	EXT. HINGED-PANEL	
D06	1		32"	80"	HINGED-PANEL	
D07	2		36"	80"	EXT. HINGED-PANEL	
D08	1		60"	80"	SLIDER-GLASS PANEL	

WINDOW SCHEDULE						
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	DESCRIPTION	EGRESS
W01	2		24"	66"	SINGLE HUNG	
W02	1		29"	35"	SINGLE HUNG	
W03	1		36"	36"	SINGLE HUNG	
W04	2		38"	48"	SINGLE HUNG	
W05	2		41"	58"	SINGLE HUNG	
W06	1		42"	48"	SINGLE HUNG	
W07	2		42"	54"	SINGLE HUNG	
W08	2		42"	51"	SINGLE HUNG	
W09	1		60"	66"	FIXED GLASS	



(E) EAST ELEVATION

SCALE: 1/4" = 1'-0"

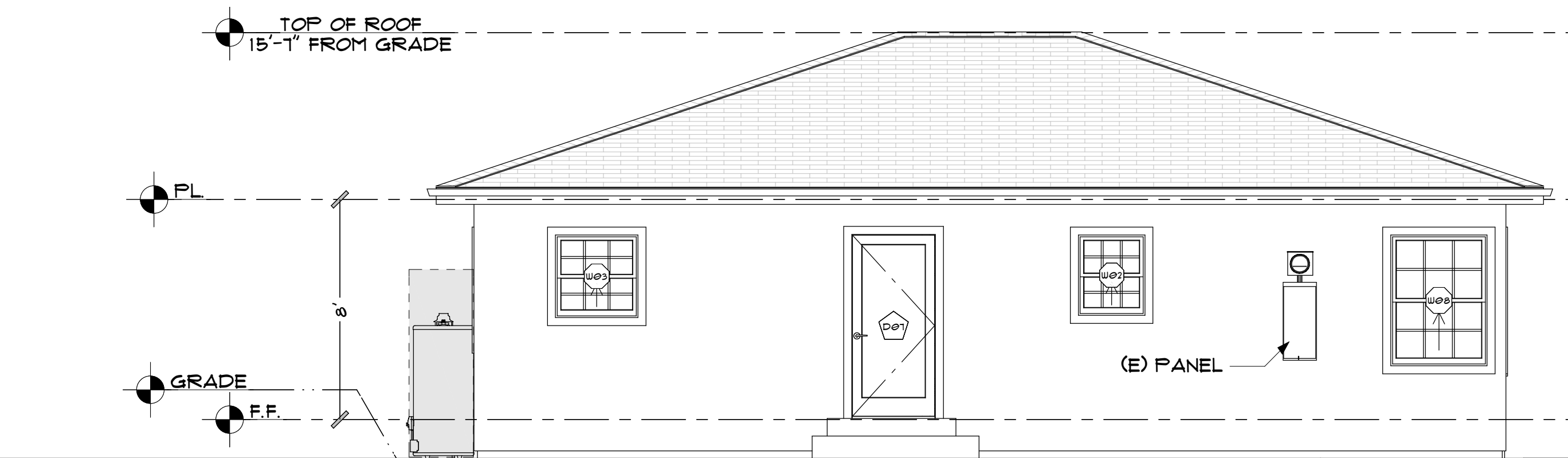
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(E) NORTH ELEVATION

SCALE: 1/4" = 1'-0"

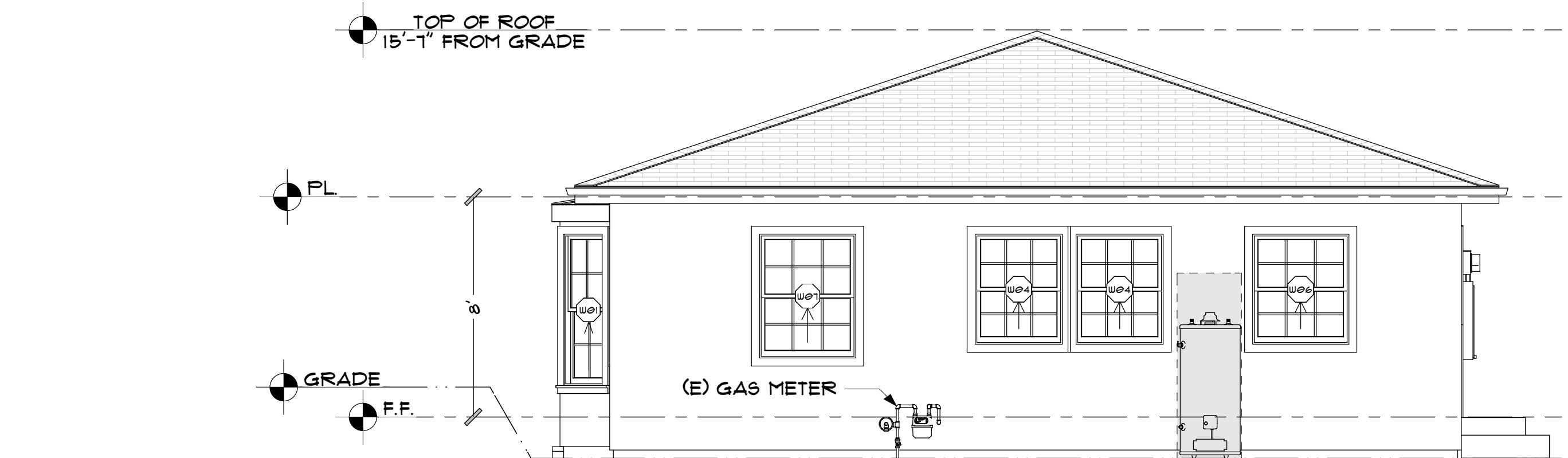
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PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

S



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

W

EXISTING PLAN

SCALE: 1/4" = 1'-0"

3



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REVISIONS

NO.	DESCRIPTION
1	
2	

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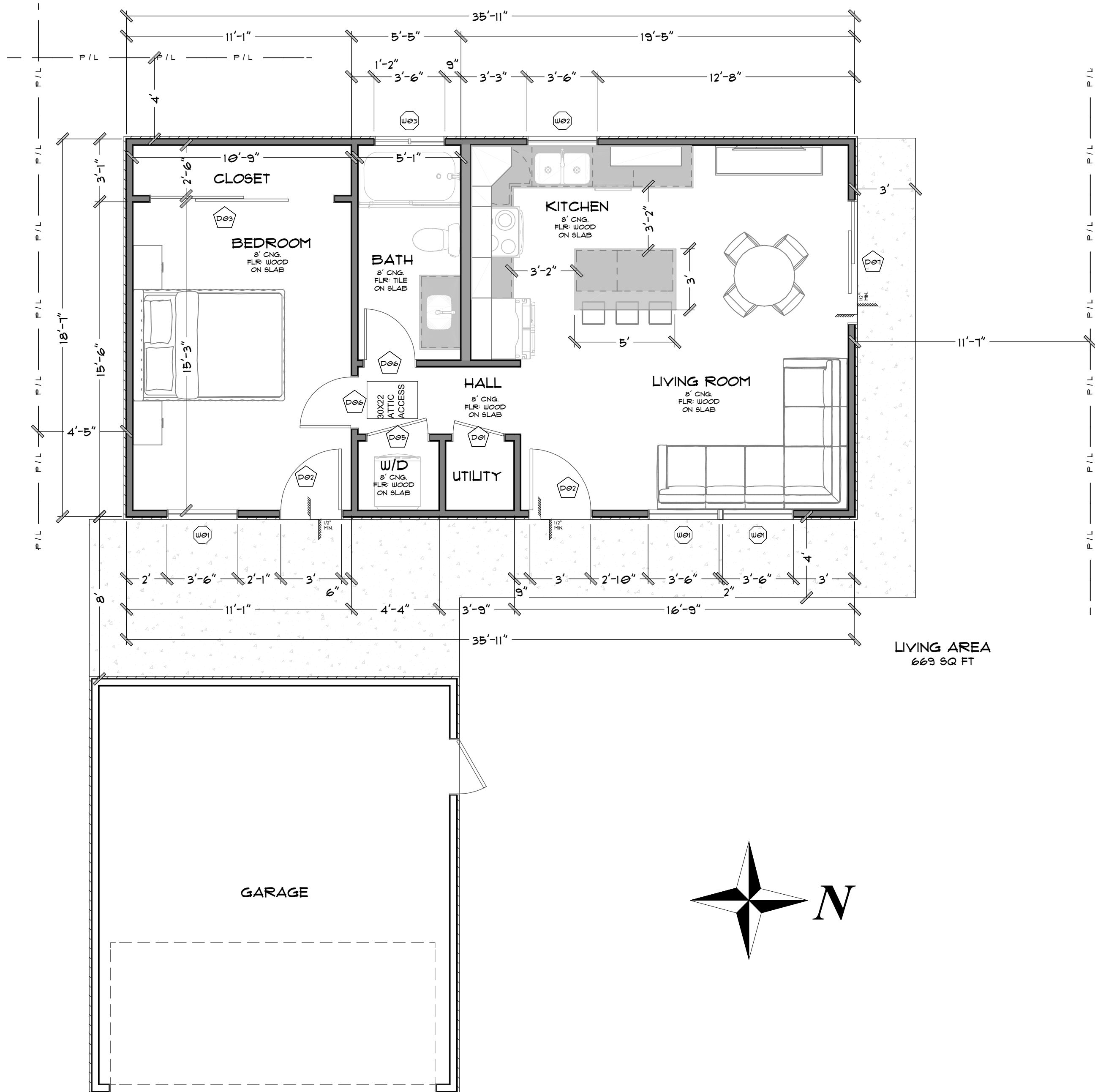
HOME OWNER:
VICTOR MAGANA
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3	TITLE	EXISTING
	DATE	2/11/2025
	SCALE	1/4" = 1'-0"
	ARTIST	DAVID MICHAEL DESIGNS

SHEET

A3

A.D.U. PLANS



DOOR SCHEDULE						
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	DESCRIPTION	TEMPERED
D01	1		30"	80"	HINGED-LOUVERED	
D02	2		36"	80"	EXT. HINGED-PANEL	
D03	1		108"	80"	SLIDER-GLASS PANEL	
D05	1		36"	80"	HINGED-LOUVERED	
D06	2		30"	80"	HINGED-PANEL	
D07	1		12"	80"	EXT. SLIDER-GLASS PANEL	YES

WINDOW SCHEDULE								
NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION	TEMPERED	EGRESS	U-FACTOR	SHGC
W01	3	42"	54"	SINGLE HUNG		YES	0.3	0.23
W02	1	42"	42"	SINGLE HUNG	YES		0.3	0.23
W03	1	42"	18"	LEFT SLIDING	YES		0.3	0.23

WALL LEGEND & BASIC CALL OUT'S

--- DEMO WALLS

▬ (N) EXTERIOR WALL

▬ 1 HR. RATED WALL

▬ (E) EXTERIOR WALL

▬ (N) INTERIOR WALL

▬ (E) INTERIOR WALL

(N) = NEW
(E) = EXISTING
F.F. = FINISHED FLOOR
G. = GRADE
PL = PLATE HEIGHT



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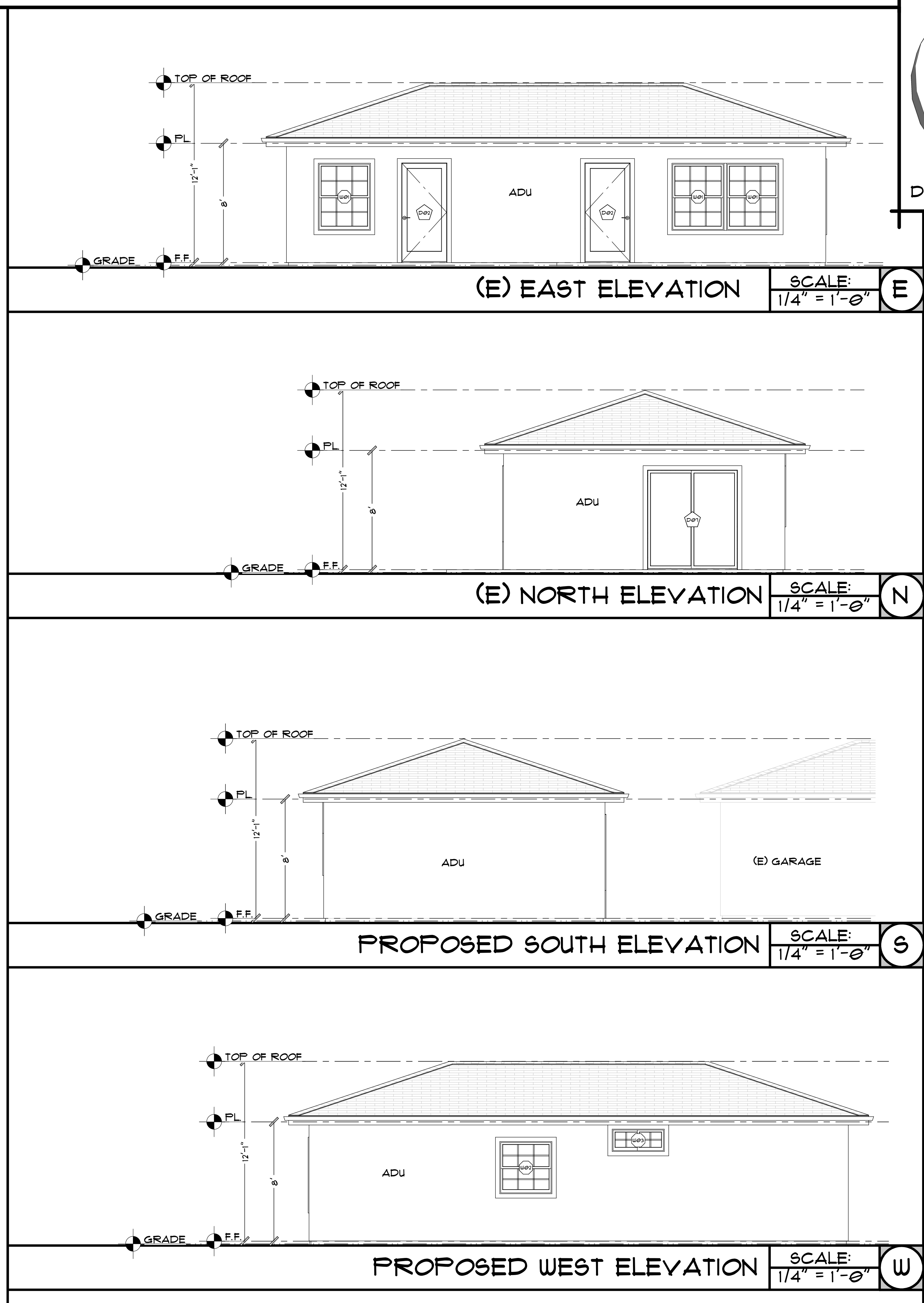
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4	TITLE	FLOOR PLAN
	DATE	2/11/2025
	SCALE	1/4" = 1'-0"
	ARTIST	DAVID MICHAEL DESIGNS

SHEET

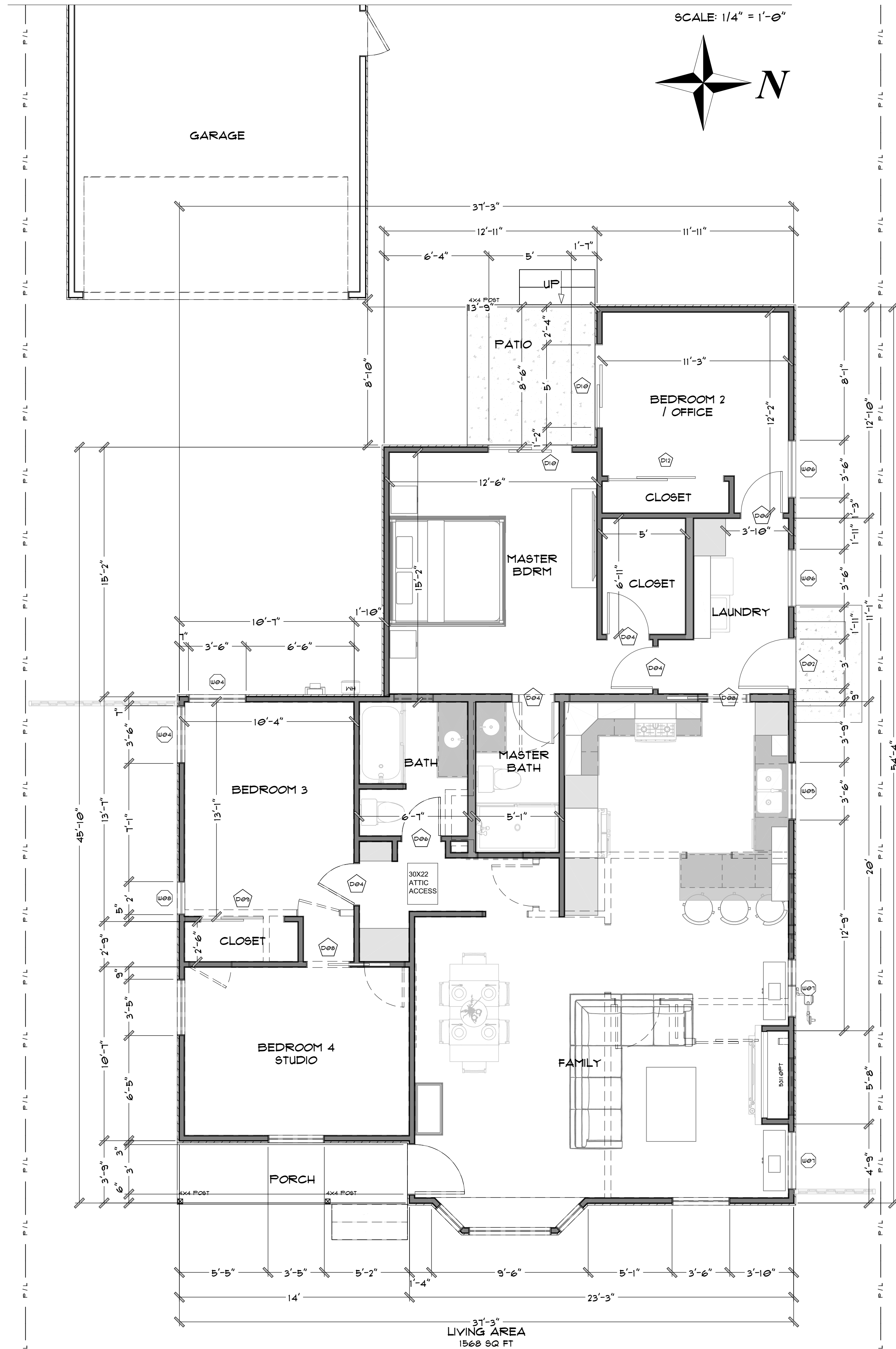
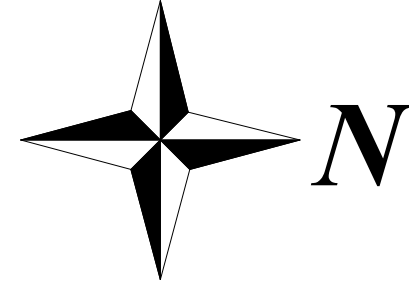
A4



PROPOSED ADU FLOOR PLAN SCALE: 1/4" = 1'-0" **4**

PROPOSED ADDITION

SCALE: 1/4" = 1'-0"



DOOR SCHEDULE						
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	DESCRIPTION	TEMPERED
D01	1	1	36"	80"	HINGED-LOUVERED	
D02	1	1	36"	80"	EXT. HINGED-GLASS PANEL	
D03	1	1	36"	80"	SLIDER-GLASS PANEL	
D04	1	1	36"	80"	HINGED-PANEL	
D05	1	1	36"	80"	HINGED-LOUVERED	
D06	1	1	21 15/16"	80"	HINGED-PANEL	
D07	1	1	72"	80"	EXT. SLIDER-GLASS PANEL	YES
D08	2	1	36"	80"	POCKET-PANEL	
D09	1	1	60"	80"	SLIDER-GLASS PANEL	
D10	2	1	60"	80"	EXT. SLIDER-GLASS PANEL	
D11	1	1	36"	80"	EXT. HINGED- 206 INTERIOR	
D12	1	1	83 5/16"	80"	SLIDER-GLASS PANEL	
D13	1	1	36"	80"	EXT. HINGED-PANEL	

WINDOW SCHEDULE								
NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION	TEMPERED	EGRESS	U-FACTOR	SHGC
W01	3	42"	54"	SINGLE HUNG		YES	0.3	0.23
W02	1	42"	42"	SINGLE HUNG	YES		0.3	0.23
W03	1	42"	18"	LEFT SLIDING	YES		0.3	0.23
W04	2	42"	51"	SINGLE HUNG			0.3	0.23
W05	1	42"	39 1/8"	SINGLE HUNG			0.3	0.23
W06	2	42"	54"	SINGLE HUNG			0.3	0.23
W07	2	42"	54"	SINGLE HUNG			0.3	0.3
W08	1	24"	30"	SINGLE HUNG			0.3	0.23



DAVID MICHAEL DESIGNS

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REVISIONS

NO.	DESCRIPTION
1	
2	

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HOME OWNER:
VICTOR MAGANA
4821 N BELFLOWER BLVD.,
LONG BEACH, CA 90808

W/L	WALL LEGEND & BASIC CALL OUT'S
---	DEMO WALLS
---	(N) EXTERIOR WALL
---	1 HR. RATED WALL
---	(E) EXTERIOR WALL
---	(N) INTERIOR WALL
---	(E) INTERIOR WALL
(N)	NEW
(E)	EXISTING
F.F.	FINISHED FLOOR
G.	GRADE
PL	PLATE HEIGHT

TITLE	FLOOR PLAN
DATE	2/11/2025
SCALE	1/4" = 1'-0"
ARTIST	DAVID MICHAEL DESIGNS

SHEET

A5

PROPOSED ADU FLOOR PLAN

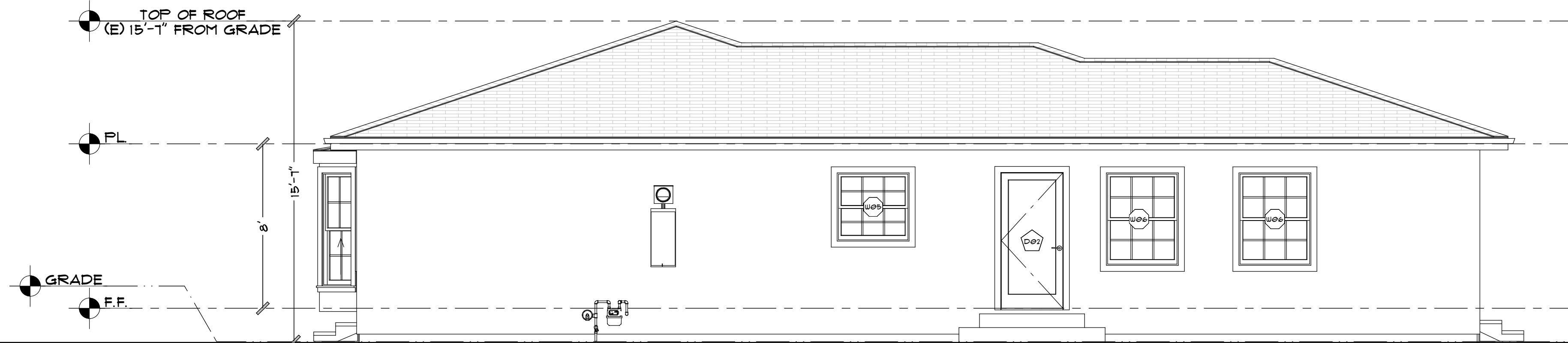
SCALE: 1/4" = 1'-0"

5



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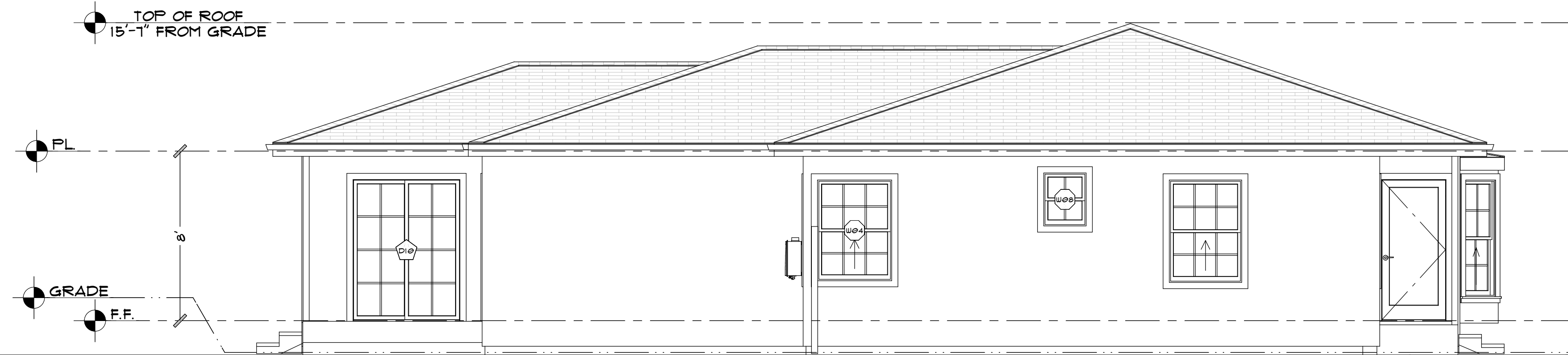
712 CENTER STREET COSTA MESA, CA 92627
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EMAIL: DAVIDMICHAELDESIGNS@GMAIL.COM



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

N



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

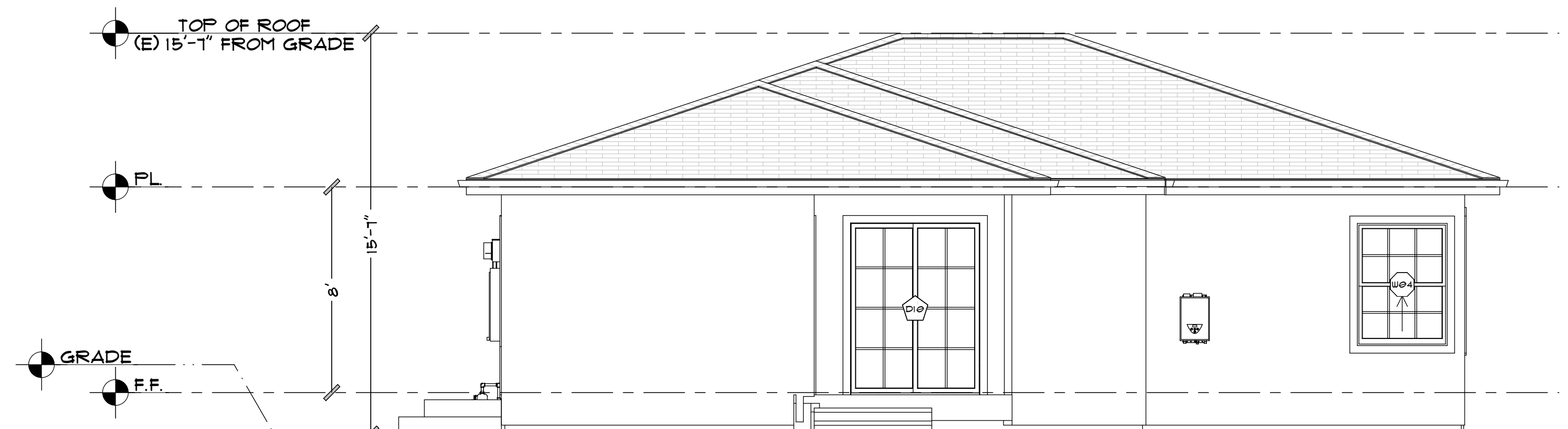
S



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

E



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

W

PROPOSED ELEVATIONS

SCALE: 1/4" = 1'-0"

6

REVISIONS

1	
2	

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6	ELEVATIONS
DATE	2/11/2025
SCALE	1/4" = 1'-0"
ARTIST	DAVID MICHAEL DESIGNS

SHEET

A6